

M/S. BOMBAY GYMKHANA LTD.

Purshotam Tharkurdas Marg,

Fort, Mumbai – 400 001

Brief for Architectural Concept

Property bearing C.S. No. 734

Of

Fort Division



1) INVITE : M/s. Bombay Gymkhana invites Expression Of Interest & including idea design proposals / presentations from Architects, as per the brief outlined in this document.

2) DEVELOPMENT VISION : M/s. Bombay Gymkhana have an existing Squash Court facility located at Purchotam Thakurdas Marg, Fort, Mumbai & intend to further expand, upgrade & develop the above property as a contemporary sports facility & by retaining the existing structure for use of its members.

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3) PROPERTY FACTS & DETAILS :

No.	Description	Details
1	Land Area as per P.R. Card	771.74 Sq. M.
2	Land Area as per Lease Doc.	923.33 Sq. Yards : (i.e. 771.88 Sq. M.)
3	C.S. No.	734
4	Division	Fort
5	Roads Abutting property	North : Purshotam Tharurdas Marg - (18.42 Meters) West : Marzban Road - (13.63 Meters) East : Prescott Road - (15.29 Meters)
6	Laughton Survey No.	3 & 3A/8453
7	Planning Authority	M.C.G.M.
8	Ward	Ward – A
9	Plot Nos.	Lot No. 52 Of Esplanade
10	C.S. Sheet No.	61
11	Google Co-ordinates	18°-56''-9' : North 72°-49''-55'' : East
12	Development Plan Sheet No.	I.C. – (07)
13	Tenure	Government Leasehold
14	C.S. Register No.	17
15	C.S. Page No.	74
16	Collector's Rent Roll No.	(Nil)

4) LAND AREA SUMMARY :

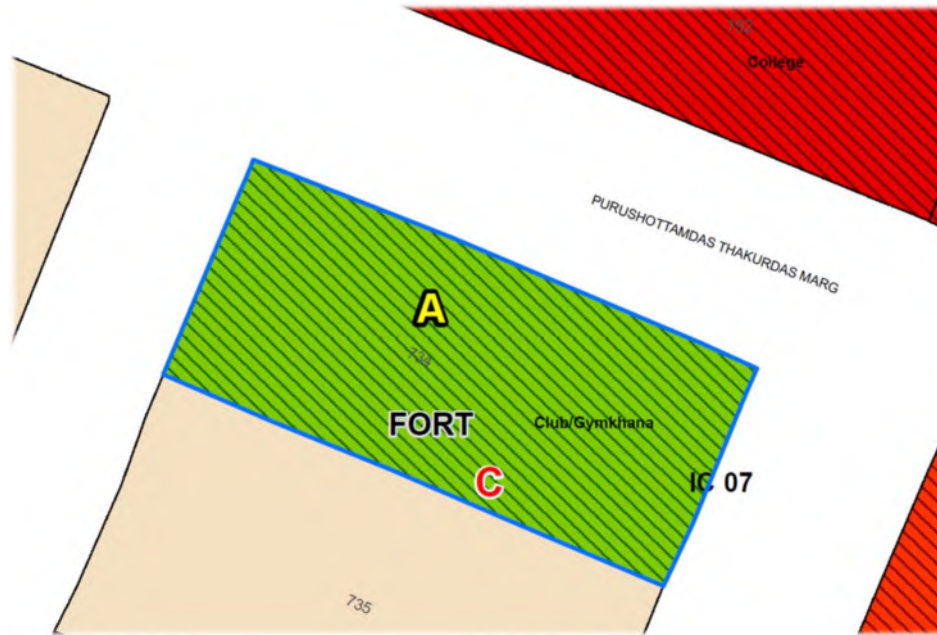
- Plot Area as per Lease Document = **923.33 Sq. Yards (i.e. 771.88 Sq. M.)**
- Plot Area as per P.R. Card = **771.74 Sq. M.**
- Plot Area as per D.P. Remarks – 2034 (Area under reservation) = **794.96 Sq. M.**
- Land Area under road setback as per MCGM letter 28.06.1994 = **119.23 Sq. M.**
- Balance plot area (Post Road setback area from area as per P.R. Card) = **652.51 Sq. M.**
- Plot area available for planning as per survey dated May – 2024 = **758.65 Sq. M.**

5) EXISTING DEVELOPMENT - AREAS, FLOORS, USERS :

No.	Description	Area / Details
1	Ground Floor : Users : Five Nos. of Squash Courts, Gallery & Changing rooms / washrooms / Locker	538.51 Sq. M.
2	First Floor : Users : Double Height of Squash Court, Gallery, Admin Office	89.87 Sq. M.
3	Total Existing Area : (Ground & First Floor)	628.38 Sq. M.
4	Dimensions of building at Ground Level	41.91 Meters X 13.20 Meters
5	Height Of Existing Building – (Bottom Of Truss) (Clear height as indicated in Section – BB)	9.05 Meters
6	Height Of Existing Building – (Tie Level Of Truss)	9.75 Meters
7	Plinth Height / Level	0.40 Meters
8	Existing Open Space from Bldg. Line (North side)	Minimum Of 3.35 Meters
9	Existing F.S.I. consumed on Gross Plot Area (628.38 Sq. M. : Existing BUA as furnished / 771.74 Sq. M.)	0.8142

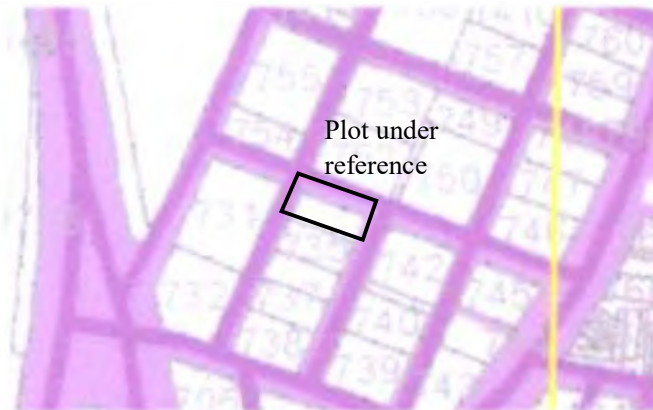
6) DEVELOPMENT PLAN – 2034 :

a) Development Plan – 2034 remarks :



- Plot Zone as per D.P. : **Commercial (C)**
- Existing Amenity / Designation : **E.O.S. – (2.10) : Club / Gymkhana**
- List Heritage Building / Site (As per D.P. Remarks) : **No**
- Heritage Precinct : **Yes (Esplanade Precinct) : (Sr. No. 633/5)**

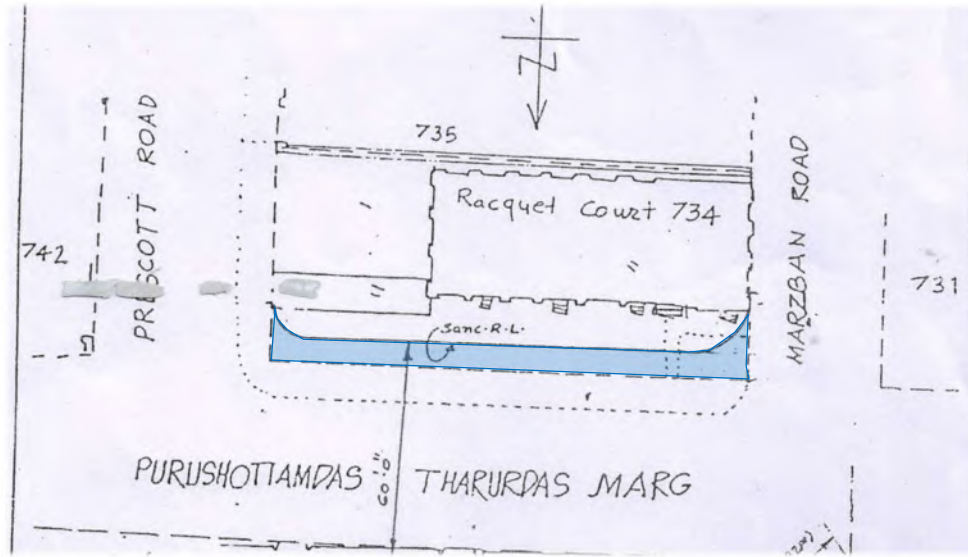
7) COASTAL REGULATION ZONE :



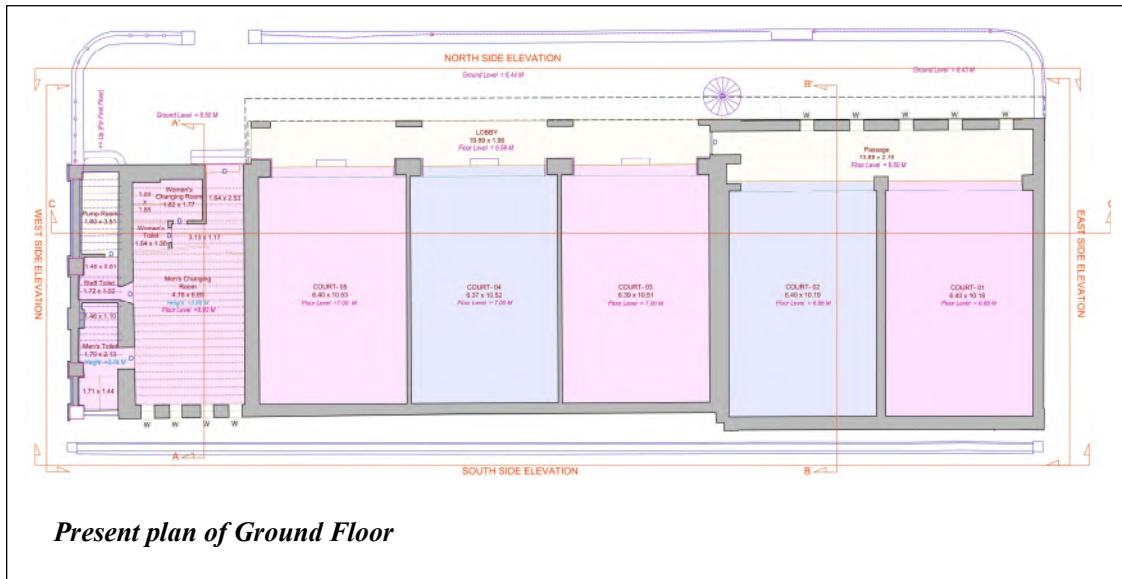
- Plot situated outside C.R.Z. Buffer & in Non – CRZ Area as per approved CZMP Plan – 2019

- CRZ CATEGORY**
- CRZ - I**
 - CRZ - IA
 - Eco Sensitive Zone - CRZ IA
 - 50m Mangrove Buffer Zone - CRZ IA
 - CRZ IB
 - CRZ II**
 - CRZ II

8) BLOCK & EXISTING BLDG. PLAN :



Portion of plot affected by road setback



Present plan of Ground Floor

9) AS – BUILT PLAN OF EXISTING BUILDING :

- *Plot survey plan*
- *Floor plans & Sections*
- *Building Elevations*
- *Photo – documentation of building & surrounding areas*
- *The above base / existing drawings are to be considered for proposed planning purpose*
- *Site elevation & AMSL level of plot*
- *Photo – documentation of existing building*
- *Documentation of heights in the vicinity of the Squash Court building*

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10) DEVELOPMENT AREA SUMMARY :

- *Plot Area = 771.74 Sq. M.*
- *Setback Area = 119.23 Sq. M.*
- *Existing Footprint Area (Ground Floor) = 538.51 Sq. M.*
- *Balance Floor area for development (By retaining existing area) = 2,059.84 Sq. M.*
- *Total proposed built up area incl. fungible & incl. existing area = 2,780.79 Sq. M.*
- *Total proposed nos. of floors = **Ground + Mezzanine + 4 Upper levels + Roof level***
- *Height of proposed building = 32 Meters up to average roof height of last floor level sloping roof option*
- *Height of proposed building = 32 Meters up to top slab of terrace level in flat roof option*

11) PROPOSED USERS :

(a) Ground & Mezzanine Floor Level :

- *Reception, Lobby, Toilets*
- *Squash Court – (4 Nos.)*
- *Staircase, Elevators*

(b) 1st & 2nd Floor Level :

- *Lobby, Toilets, Staircase, Elevators*
- *Squash Court – (2 Nos.)*
- *Indoor Games / Sport(*)*

(c) 3rd & 4th Floor Level :

- *Lobby, Toilets*

- *Indoor Games / Sport(*)*
- *Staircase, Elevators*

d) 5th Floor Level :

- *Lobby, Toilets*
- *Indoor Games / Sport(*)*
- *Staircase, Elevators*
- *Terrace / MEP Services*

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e) Balance built up area if any to be utilized based on design option of : (a) With sloping roof (or) (b) With flat terrace (Both options with building height of 32 Meters above Ground level).

f) Suggested users for the development :

- A world class large Gymnasium – with separate weight, cardio and stretch sections
- Multi-purpose room – for Aerobics, Zumba, Yoga, Dance, martial art
- Pilatus room
- Sports spa – Physio therapy, massage, steam sauna, yoga ice baths/chill showers
- Normal glass back Squash doubles court with viewing gallery to host international level tournaments
- Bridge Room
- Table Tennis (5 table)
- Padel court
- Sports science centre – virtual golf, other virtual sports, rock climbing
- Toddlers play room/crèche
- Café with indoor games – air hockey, carom, darts, pool, fuse ball etc.
- Chambers for visiting teams
- LDR/GDR in Squash court
- Reception area
- Admin block – offices, stores, utilities room (housekeeping, maintenance, meeting room, staff lockers and restrooms, recreation room, cafeteria), Business centre with office work spaces
- Relocating some of the existing areas to align with better space usage and flow of volumes and service
- Multipurpose court for basketball, volleyball, throw ball and Pickel ball
- Mini Movie theatre / auditorium

12) PLANNING STANDARDS :

- *Planning standards / dimensions / spaces for sports facilities as per Sports Authority Of India*
- *Requirements for Fire Fighting as per N.B.C. – 2016 / local – bye laws*
- *Sanitary provisions as per planning requirements / standards / NBC – 2016 / Other norms*
- *Planning requirements for differently abled as per local bye – laws / NBC – 2016*

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13) HERITAGE PRECINCT : *The site is situated in the Heritage Esplanade Precinct & the development to be as per the precinct & Heritage Vista's from existing Heritage Grade – I buildings.*

14) STRUCUTRAL & REGULATORY REQUIREMENTS :

a) To retain the existing external walls of the building to build new columns from within for the proposed development.

b) Retain the existing stone masonry walls for the existing height & build a Non – Structural skin wall as per architectural design requirements (*or*) as required by Heritage norms.

c) Lower Ground level below the present floor for the purpose of essential building services like :

- *Fire Fighting*
- *Domestic & Flushing Underground Tank*
- *Lift Pits / Elevator provisions*
- *Provision of Hydro-pneumatic System*
- *Stores & Maintenance*
- *Any other users at level lower than Ground level*

d) To devise a methodology to plan around & treat the existing foundations.

e) Minimum grid of columns at typical level to have a column free area specifically for the balcony area projection.

f) No / minimum column projection inside the sports space on all levels for clear use of the internal areas for sports activity.

g) Shallow depth of beams for the maximum clear height of the internal rooms.

h) Provision in structure for services at roof level / within roof of the building for sloping roof option.

i) Provision at the terrace level with the Heritage façade wall as per heritage regulations / height to shield services at terrace level.

j) 2 Nos. of staircases of 2 Meters each would be required.

k) Fire Fighting systems required as per local bye – laws / N.B.C. – 2016 requirements.

15) DELIVERABLES & TIMELINE :

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- **Expression Of Interest :** (7 Days)
- **Stage – 1 :** Approach, Ideation & Zoning – (15 Days)
- **Stage – 2 :** Preliminary Concept – (15 Days)
- **Stage – 3 :** Final Concept – (10 Days)

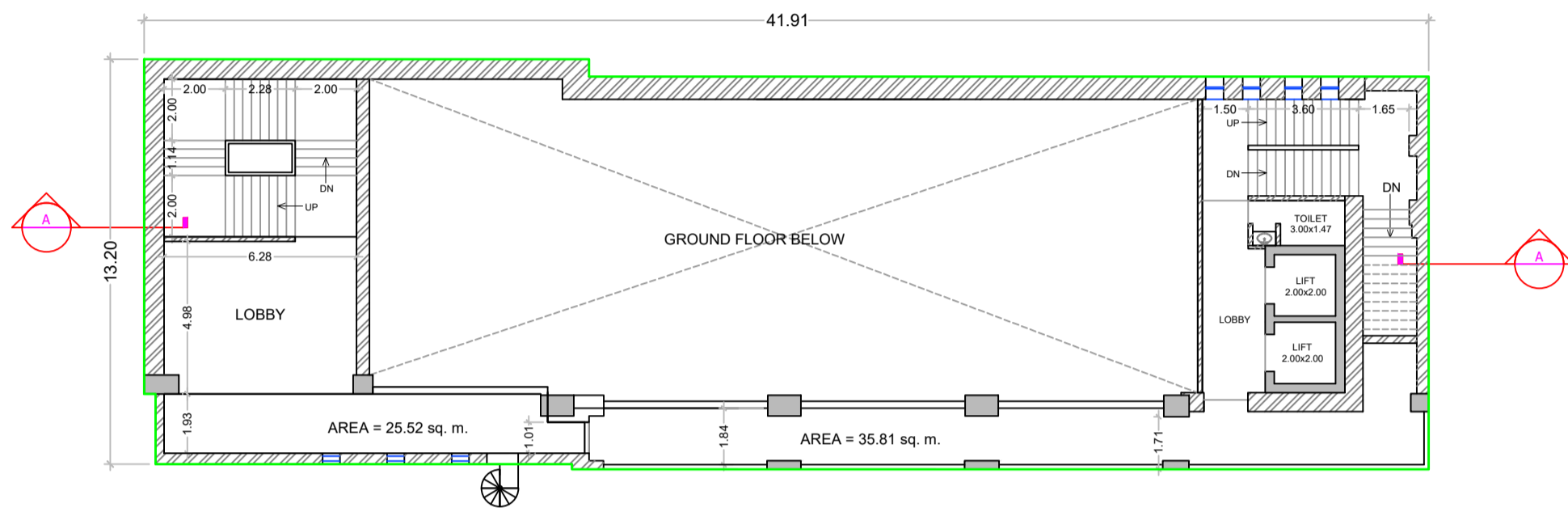
16) ENCLOSURES :

- **Site Location :** <https://goo.gl/maps/nhAhevGes9tZAeGy7>
 - **As – built drawings of existing building as per Serial No. (8)**
 - **Draft area utilization programme**
 - **Survey drawing set of the existing building**
-

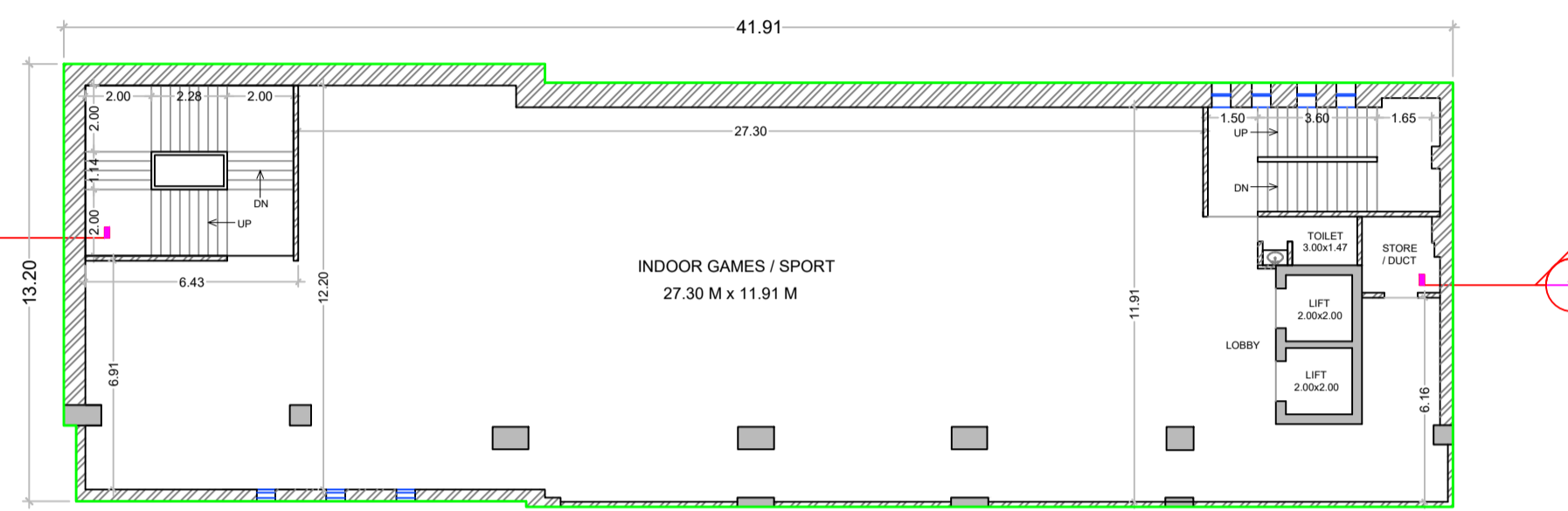
THE BOMBAY GYMKHANA LTD.

SQUASH COURT BUILDING, MUMBAI

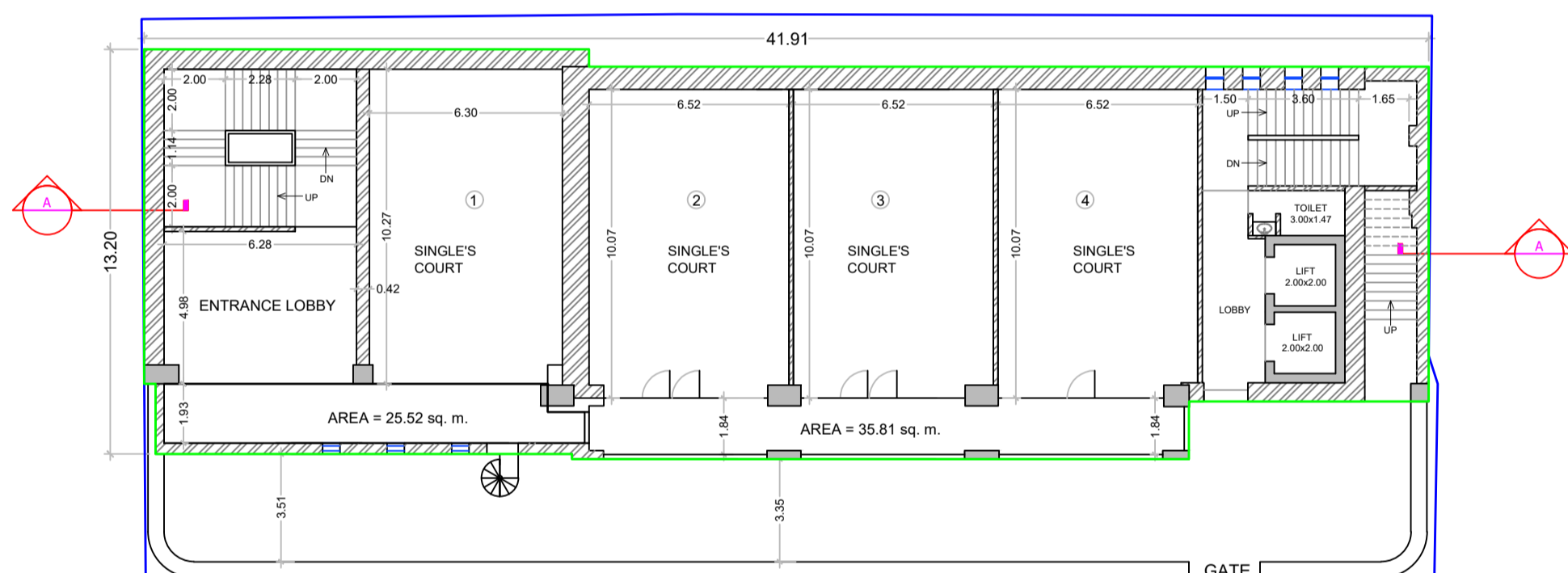
OPTION : SLOPING ROOF
18.06.2024



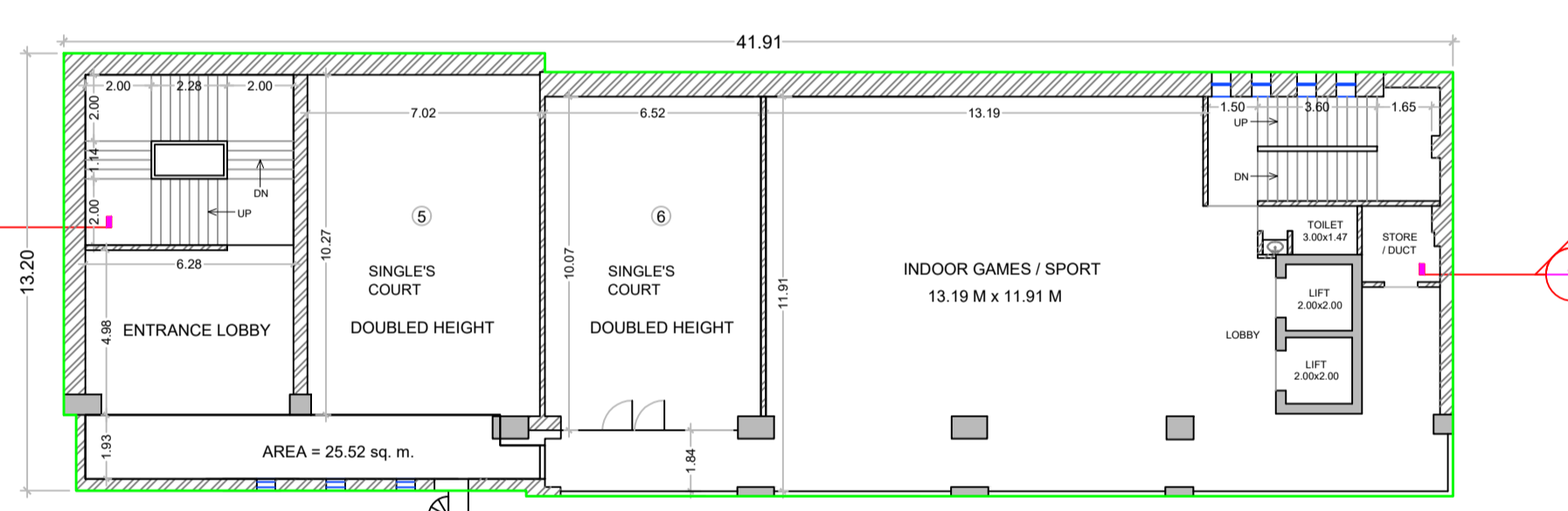
PROPOSED MEZZANINE FLOOR PLAN + 4.50 M HEIGHT



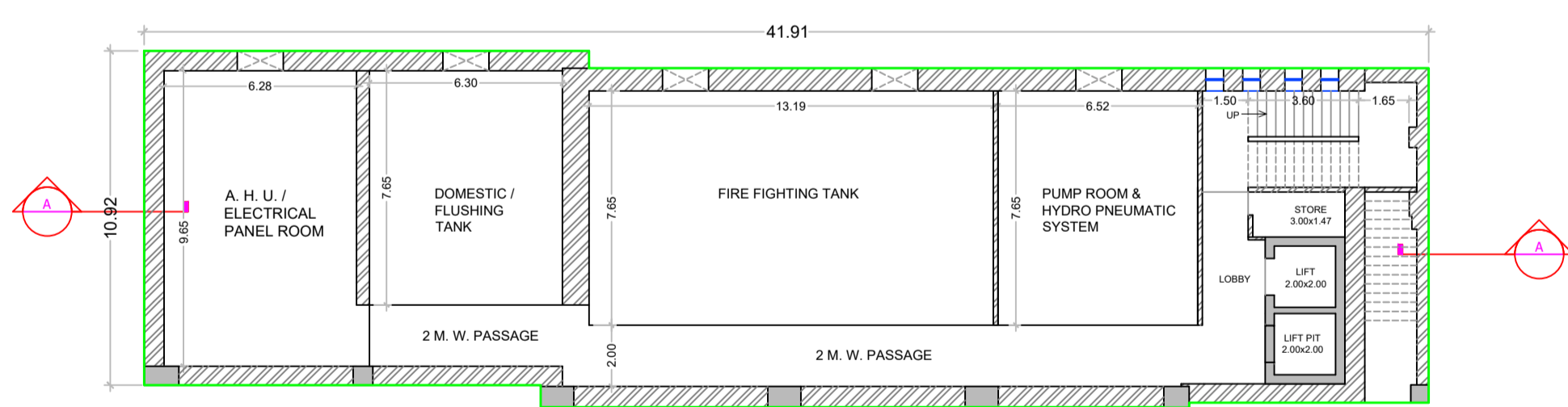
PROPOSED TYPICAL 3RD & 4TH FLOOR PLAN



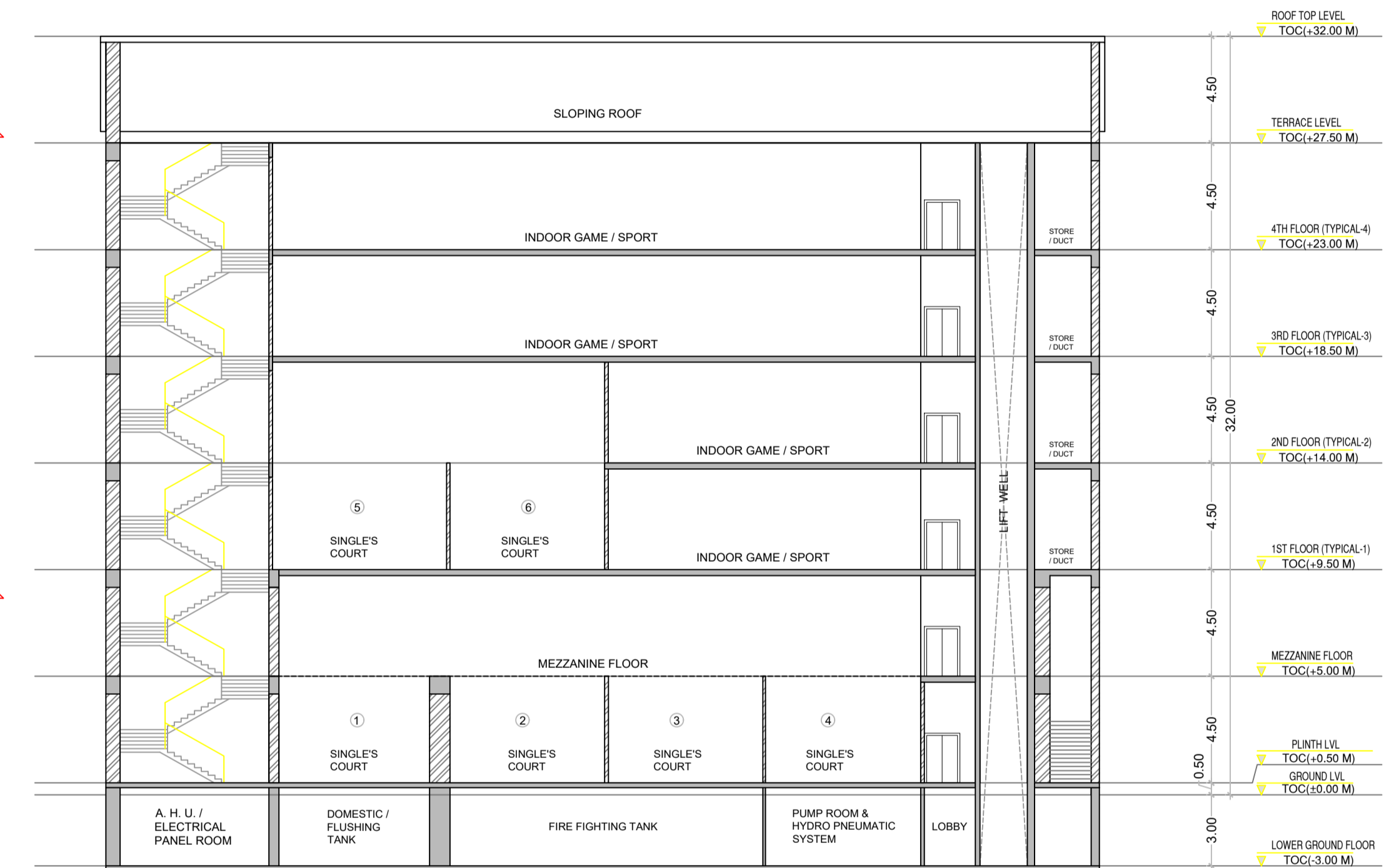
PROPOSED GROUND FLOOR PLAN ± 0.00 M HEIGHT



PROPOSED TYPICAL 1ST & 2ND FLOOR PLAN



PROPOSED LOWER GROUND FLOOR PLAN - 3.00 M HEIGHT



SCHMATIC SECTION - AA

BUILT UP AREA STATEMENT

SR.NO.	FLOORS	HEIGHT	GROSS BUILT UP AREA	INDICATED BMC BUILT UP AREA
1	LOWER GROUND	-3.00 M	461.57 SQ.M.	
2	PLINTH LEVEL	0.50 M		
3	GROUND	9.00 M	526.75 SQ.M.	407.86 SQ.M.
4	MEZZANINE	9.00 M	541.46 SQ.M.	178.72 SQ.M.
5	FIRST	4.50 M	541.46 SQ.M.	445.04 SQ.M.
6	SECOND	4.50 M	541.46 SQ.M.	308.69 SQ.M.
7	THIRD	4.50 M	541.46 SQ.M.	446.66 SQ.M.
8	FOURTH	9.00 M	541.46 SQ.M.	446.66 SQ.M.
9	TOTAL	32.00 M	3695.62 SQ.M.	2233.63 SQ.M.

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SCALE - 1 : 100

SHEET NO. : 1

REV-00

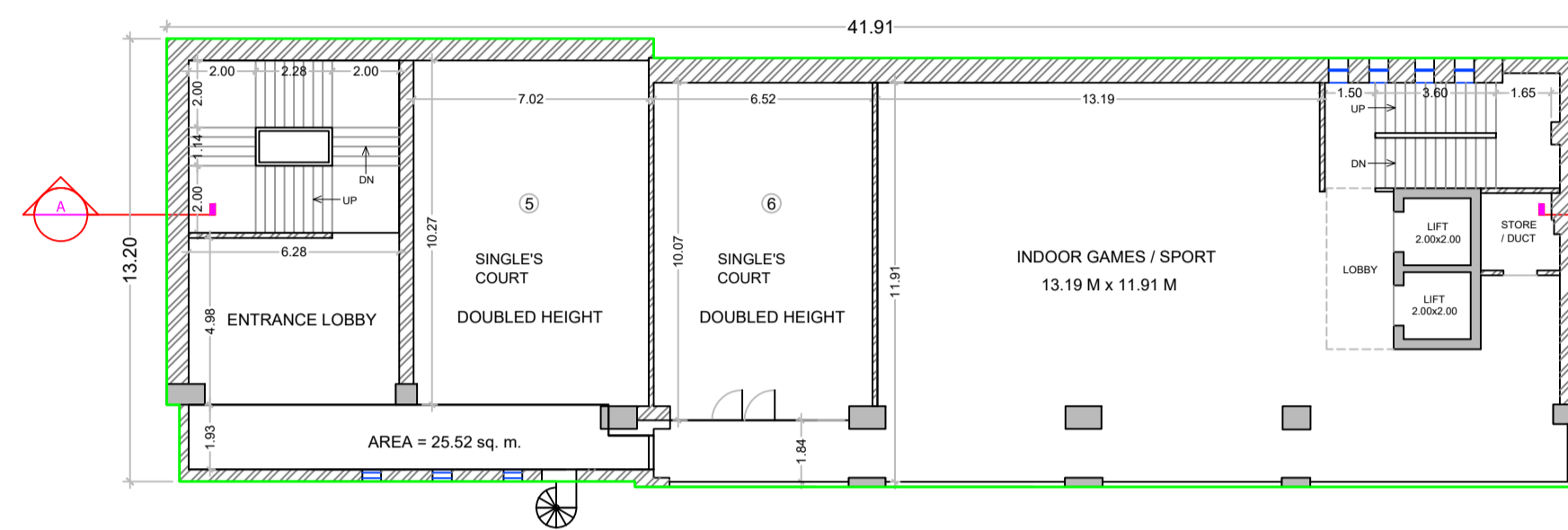
THE BOMBAY GYMKHANA LTD.
SQUASH COURT BUILDING,
MUMBAI



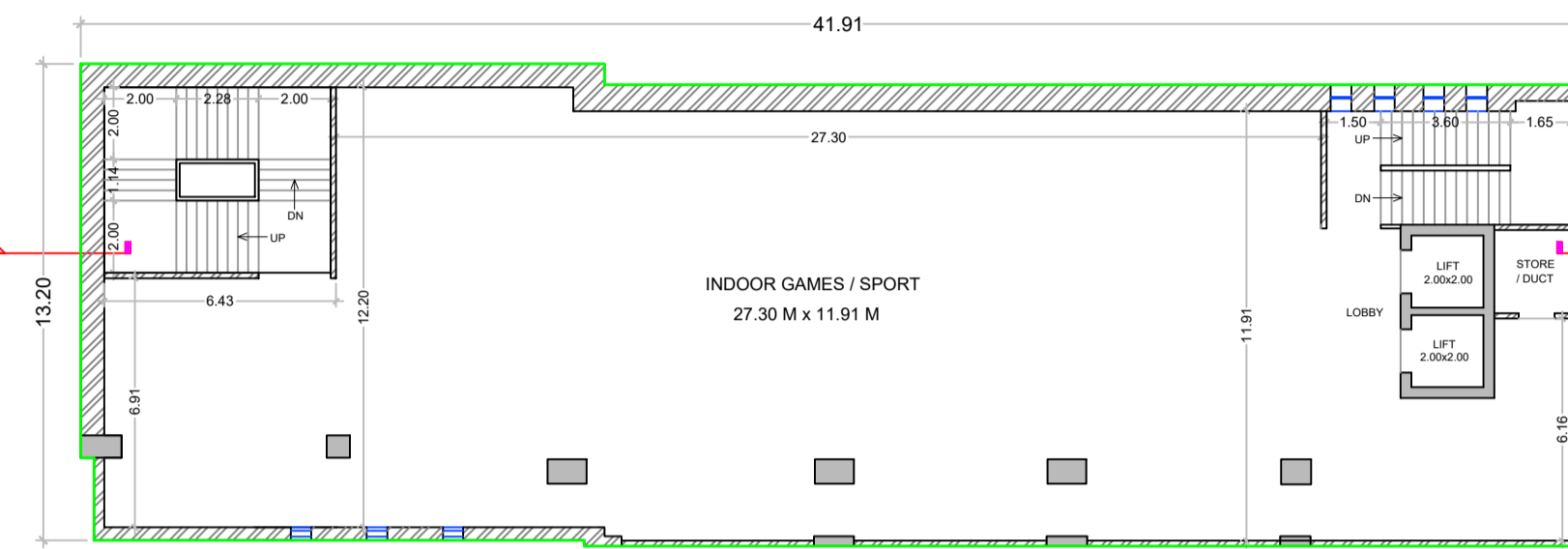
THE BOMBAY GYMKHANA LTD.

SQUASH COURT BUILDING, MUMBAI

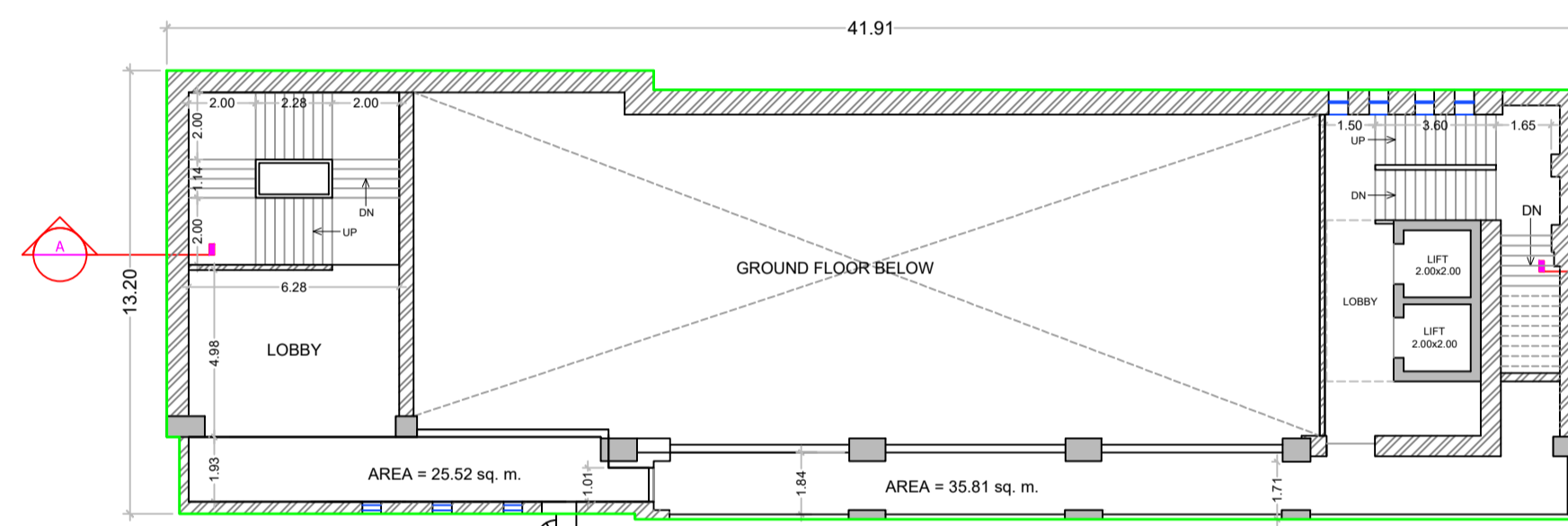
OPTION : FLAT ROOF
18.06.2024



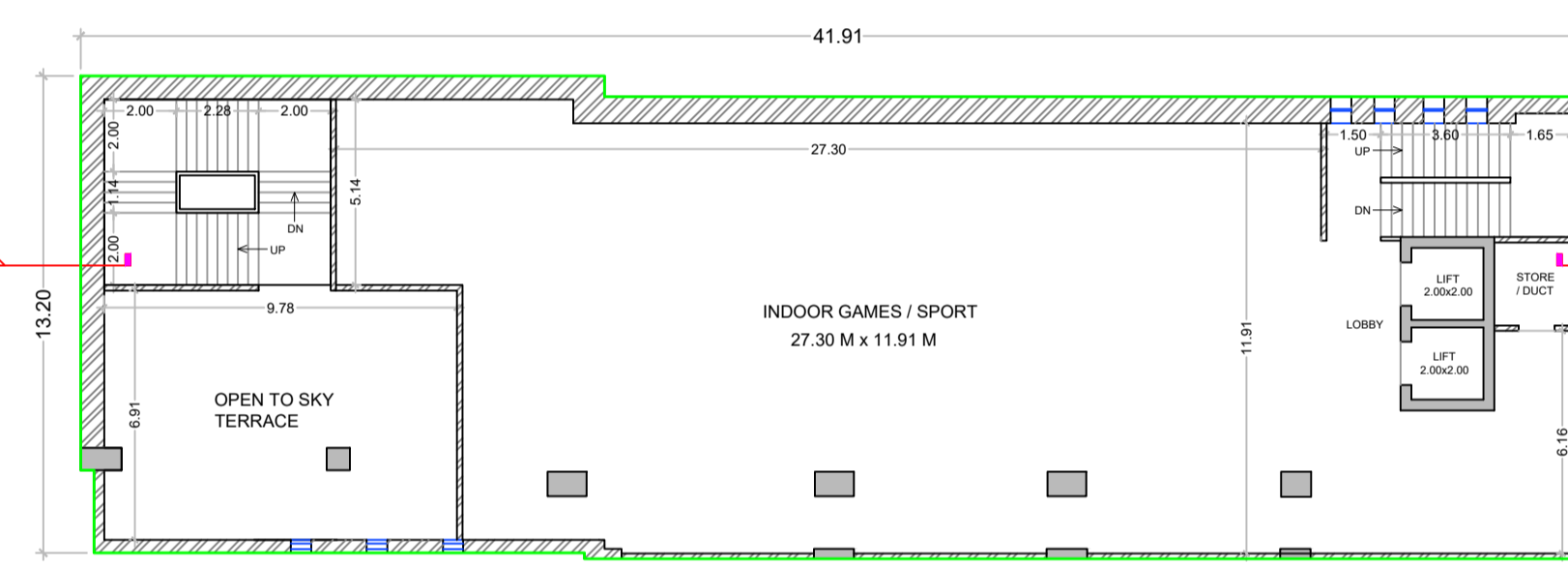
PROPOSED TYPICAL 1ST & 2ND FLOOR PLAN



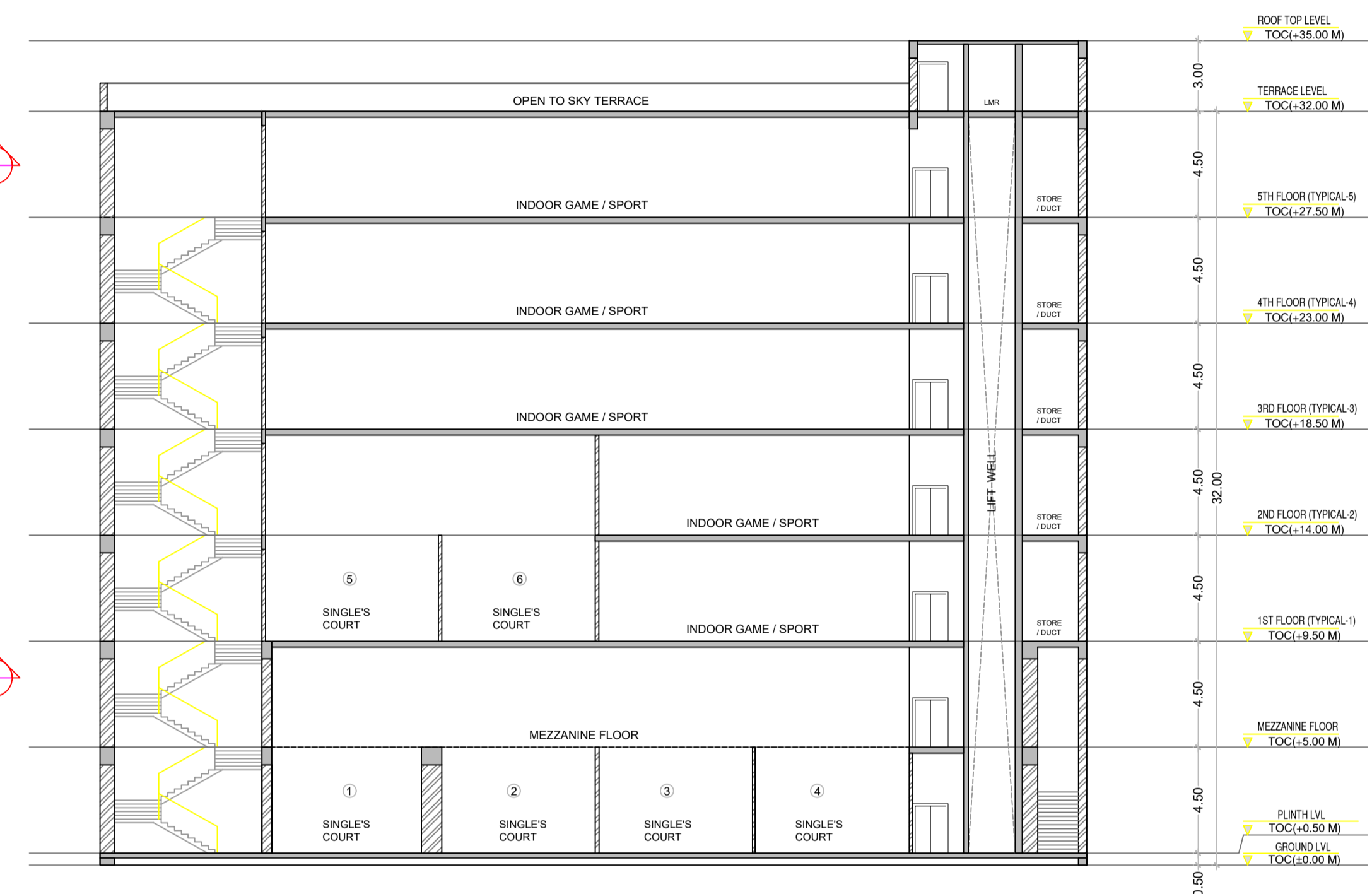
PROPOSED TYPICAL 3RD & 4TH FLOOR PLAN



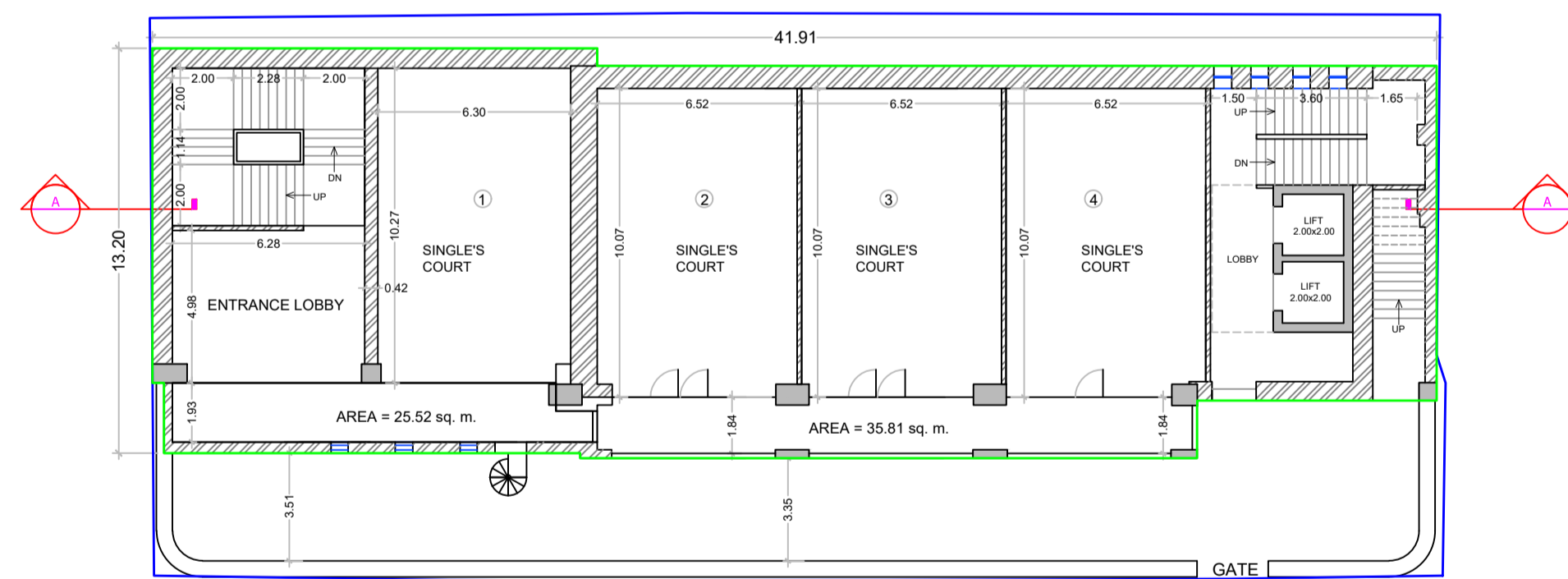
MEZZANINE FLOOR PLAN + 4.50 M HEIGHT



PROPOSED 5TH FLOOR PLAN



SCHMATIC SECTION - AA



GROUND FLOOR PLAN ± 0.00 M HEIGHT

BUILT UP AREA STATEMENT

SR.NO.	FLOORS	HEIGHT	INDICATED BUILT UP AREA
1	PLINTH LEVEL	0.50 M	
2	GROUND	9.00 M	411.50 SQ.M.
3	MEZZANINE		165.99 SQ.M.
4	FIRST	4.50 M	445.04 SQ.M.
5	SECOND	4.50 M	308.69 SQ.M.
6	THIRD	4.50 M	445.04 SQ.M.
7	FOURTH	4.50 M	445.04 SQ.M.
8	FIFTH	4.50 M	371.76 SQ.M.
9	TOTAL	32.00 M	2593.06 SQ.M.

* ALL DIMENSIONS IN METERS UNLESS OTHERWISE MENTIONED
* THE ABOVE DRAWING IS BASED ON SHASHI PRABHU AND ASSOCIATES DATED 28-11-2016

THE BOMBAY GYMKHANA LTD. - SQUASH COURT, MUMBAI

SCALE - 1 : 100

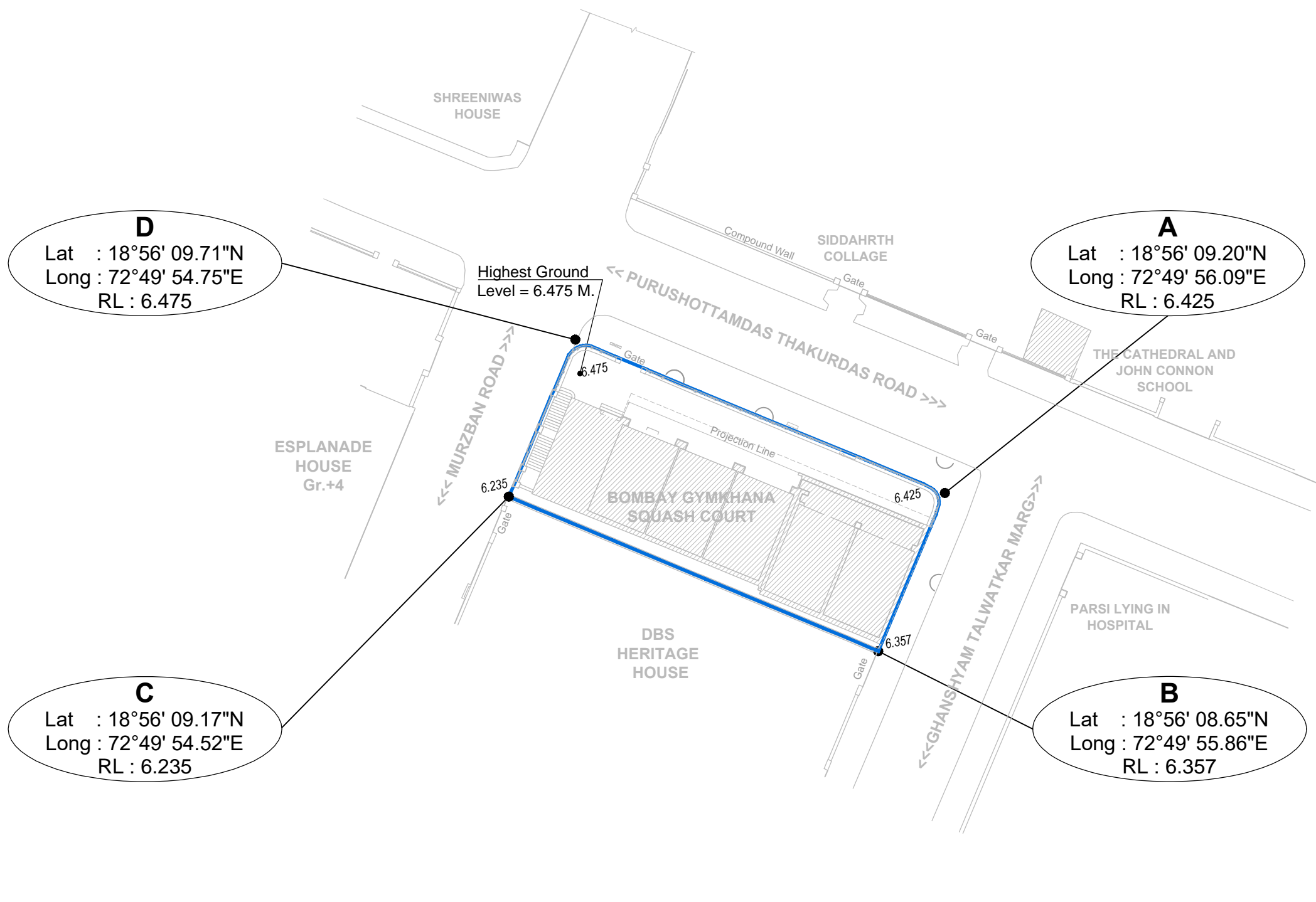
SHEET NO. : 2

REV-00

THE BOMBAY GYMKHANA LTD.
SQUASH COURT BUILDING,
MUMBAI



1875



SITE PLAN
 SCALE - 1 : 500

ARCHITECT-
BOMBAY GYMKHANA LTD
 Bombay Gymkhana LTD Squash Court Building, Purshottam Thakurdas Road, Fort, Mumbai – 400 001

DRAWING-
 PLAN SHOWING SITE ELEVATION AND SITE COORDINATES OF C.S. No. 734, PLOT No.52, FORT-DIVISION , BOMBAY GYMKHANA LTD SQUASH COURT BUILDING, PURSHOTTAM THAKURDAS ROAD, FORT, MUMBAI – 400 001

SURVEYED BY-	Vaibhav	DRAWN BY-	Pooja
SURVEY DATE-	22 To 30 March.2024	CHECKED BY-	Mr. Arvind Baikar
DRAWING DATE-	05 April. 2024	DRAWING NO. -	

CAD FILE NAME- 240405_BOMBAY GYMKHANA LTD, FORT, MUMBAI, _R0

SCALE - 1 : 500
 SHEET SIZE - A3

SURVEYED BY-

ZENARC SURVEYS PVT. LTD.
 RANE ESTATE, NR. JAIN TEMPLE, KURAR, MALAD (EAST), MUMBAI - 400 097.
 TEL 9987071111 EMAIL: INFO@ZENARC.IN. SURVEY@ZENARC.IN

NAME AND SIGNATURE, AUTHORIZED SIGNATORY OF OWNER / DEVELOPERS-

BOMBAY GYMKHANA LTD SIGNATURE

CERTIFICATE -

I HAVE CARRIED OUT GPS SURVEY OF THE SAID PLOT THROUGH OUR STAFF TO MEASURE UTM CO-ORDINATES OF ABOVE REFEREED PROPERTY.

SIGNATURE

LEGEND

EXISTING BUILDING / STRUCTURE		OTLA	
BALCONY		STAIRCASE / STEP	
PROJECTION LINE		FIRE HYDRANT	
COMPOUND WALL		COLUMN	
PLOT BOUNDARY [Possession]		ROAD LEVEL	
CHAMBER		SPOT LEVEL	
FEEDER PILLAR (Electric)		TREE	
LIGHT POLE		MANHOLE	
FENCE LINE		TIN BARRICADE	

THE CATHEDRAL AND JOHN CONNON SCHOOL

SIDDAHRTH COLLEGE

SHREENIWAS HOUSE

ESPLANADE HOUSE Gr.+4

BOMBAY GYMKHANA SQUASH COURT

DBS HERITAGE HOUSE

PARSI LYING IN HOSPITAL

MURZBAN ROAD

PURUSHOTTAMDAS THAKURDAS ROAD

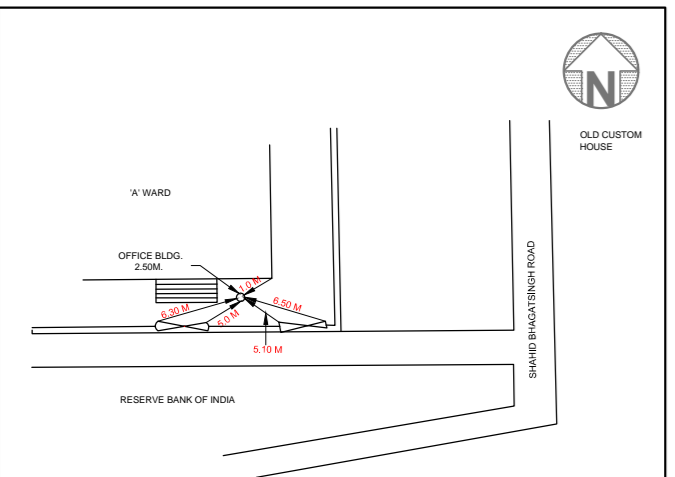
GHANSHYAM TALWATKAR MARG

NOTE

- * ALL DIMENSIONS ARE IN METER.
- * SPOT LEVELS ARE TAKEN w.r.t. BENCH MARK No. (003/A)
- (A' WARD OFFICE, OFF SHAHID BHAGATSINGH MARG AT BALLARD PIER, FORT AREA)
- * REDUCED LEVEL OF BENCH MARK = 30.295 m. (THD)
 i.e. 5.835 m (AMSL)

SITE PLAN
 SCALE - 1 : 250

PLOT LEVEL SUMMARY
 (T.H.D.)
 HIGHEST GROUND LEVEL - 30.560 M.



BENCHMARK NO.: 003/A WARD : A
 HEIGHT (THD) : 30.295M.
 LOCATION : 'A' WARD OFFICE, OFF SHAHID BHAGATSINGH MARG AT BALLARD PIER, FORT AREA.

DETAILS OF BENCHMARK LOCATION



LOCATION PLAN : Google Image
 SCALE - N.T.S.

CERTIFICATE

I HAVE CARRIED OUT LEVEL SURVEY OF THE SAID PLOT THROUGH OUR STAFF TO MEASURE THD OF ABOVE REFERRED PROPERTY.

SIGNATURE

NAME OF CLIENT
BOMBAY GYMKHANA LTD
 BOMBAY GYMKHANA LTD, Purshottam Thakurdas Road, Fort, Mumbai - 400 001

NAME OF ARCHITECT
ARCHSURVEYORS
 408, Prospect Chambers, 4th Floor, Dr. DN Road, Opposite Thomas & Cook Building, Fort, Mumbai - 400 001

DRAWING SCALE -

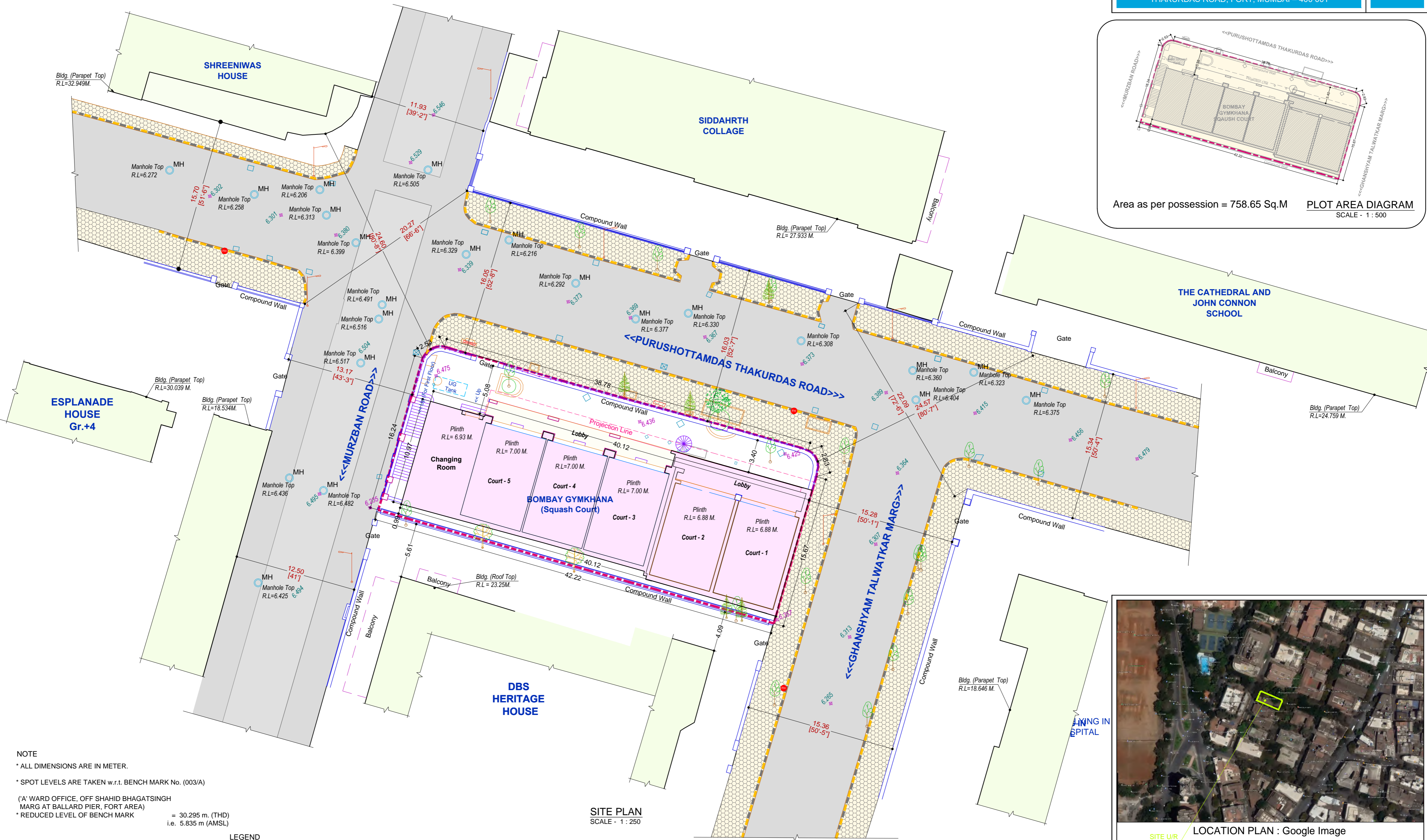
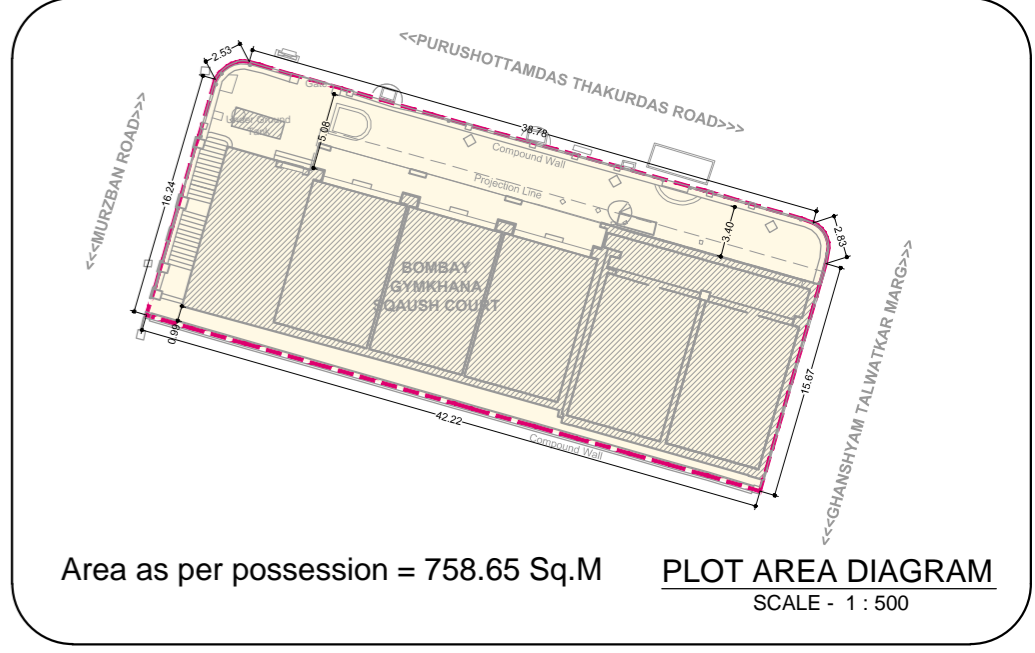
SURVEYED BY-	P.T	DRAWN BY-	Pooja
SURVEY DATE-	22 TO 30, MARCH, 2024	CHECKED BY-	Mr. Arvind Baikar
DRAWING DATE-	05, MAY, 2024	DRAWING NO. -	ZM/23-24/0222
CAD FILE NAME-	240405_BOMBAY GYMKHANA LTD_FORMATION SURVEY_R0		

DESCRIPTION OF PROPERTY:
 PLAN SHOWING LEVEL SURVEY OF PLOT BEARING C.S. No. 734, PLOT No.52, FORT-DIVISION, BOMBAY GYMKHANA LTD SQUASH COURT BUILDING, PURSHOTTAM THAKURDAS ROAD, FORT, MUMBAI - 400 001

NAME & ADDRESS OF SURVEYOR

ZENMARC SURVEYS PVT. LTD.
 RANE ESTATE, MR. JAIN TEMPLE, KURAR, MALAD (EAST), MUMBAI - 400 097.
 TEL. 9987071111 EMAIL: INFO@ZENMARC.IN, SURVEY@ZENMARC.IN

SCALE - 1 : 250
 SHEET SIZE - A2



NOTE
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 ('A' WARD OFFICE, OFF SHAHID BHAGATSINGH MARG AT BALLARD PIER, FORT AREA)
 * REDUCED LEVEL OF BENCH MARK = 30.295 m. (THD)
 i.e. 5.835 m (AMSL)

LEGEND

EXISTING BUILDING / STRUCTURE		CHAMBER		OTLA	
BALCONY		FOOT PATH		STAIRCASE / STEP	
PROJECTION LINE		LIGHT POLE		FIRE HYDRANT	
COMPOUND WALL		FENCE LINE		ROAD	
PLOT BOUNDARY [Possession]		TIN BARRICADE		COLUMN	
FEEDER PILLAR (Electric)		MANHOLE		ROAD LEVEL	
		TREE		SPOT LEVEL	



BOMBAY GYMKHANA LTD
 BOMBAY GYMKHANA LTD, Purshottam Thakurdas Road, Fort, Mumbai – 400 001
 NAME OF ARCHITECT
ARCHSURVEYORS
 408, Prospect Chambers, 4th Floor, Dr. DN Road, Opposite Thomas & Cook Building, Fort, Mumbai - 400 001

NAME OF CLIENT
BOMBAY GYMKHANA LTD
 BOMBAY GYMKHANA LTD, Purshottam Thakurdas Road, Fort, Mumbai – 400 001

DRAWING SCALE -

SURVEYED BY-	Vaibhav	DRAWN BY-	Pooja
SURVEY DATE-	22 TO 30, MARCH, 2024	CHECKED BY-	Mr. Arvind Baikar
DRAWING DATE-	05, MAY, 2024	DRAWING NO. -	ZM/23-24/0222
CAD FILE NAME-	240405_BOMBAY GYMKHANA LTD_DETAILED SURVEY_R0		
DESCRIPTION OF PROPERTY: PLAN SHOWING SURVEY OF PLOT BEARING C.S. No. 734, PLOT No.52, FORT- DIVISION , BOMBAY GYMKHANA LTD SQUASH COURT BUILDING, PURSHOTTAM THAKURDAS ROAD, FORT, MUMBAI – 400 001			

NAME & ADDRESS OF SURVEYOR

ZENMARC SURVEYS PVT. LTD.
 RANE ESTATE, MR. JAIN TEMPLE, KURAR, MALAD (EAST), MUMBAI - 400 097.
 TEL. 9987071111 EMAIL: INFO@ZENMARC.IN, SURVEY@ZENMARC.IN

SCALE - 1 : 250
 SHEET SIZE - A2




SITE PLAN
 SCALE - 1 : 500

Sr. No.	Tree No.	Botanical name	Local Name	Height In mt.	Spared In mt.	Girth In mt.
1	1	<i>Polyalthia longifolia (sonnerat) Thwaites</i>	Ashoka Tree	6.00	3.00	1.50
2	2	<i>Ficus benghalensis L.</i>	Vad Tree	30.00	12.00	6.50
3	3	<i>Peltophorum pterocarpum</i>	Yellow flame tree	32.00	8.00	4.50




LOCATION PLAN : Google Image
 SCALE - N.T.S.


	NAME OF CLIENT	BOMBAY GYMKHANA LTD BOMBAY GYMKHANA LTD, Purshottam Thakurdas Road, Fort, Mumbai – 400 001
	NAME OF ARCHITECT	ARCHSURVEYORS 408, Prospect Chambers, 4th Floor, Dr. DN Road, Opposite Thomas & Cook Building, Fort, Mumbai - 400 001

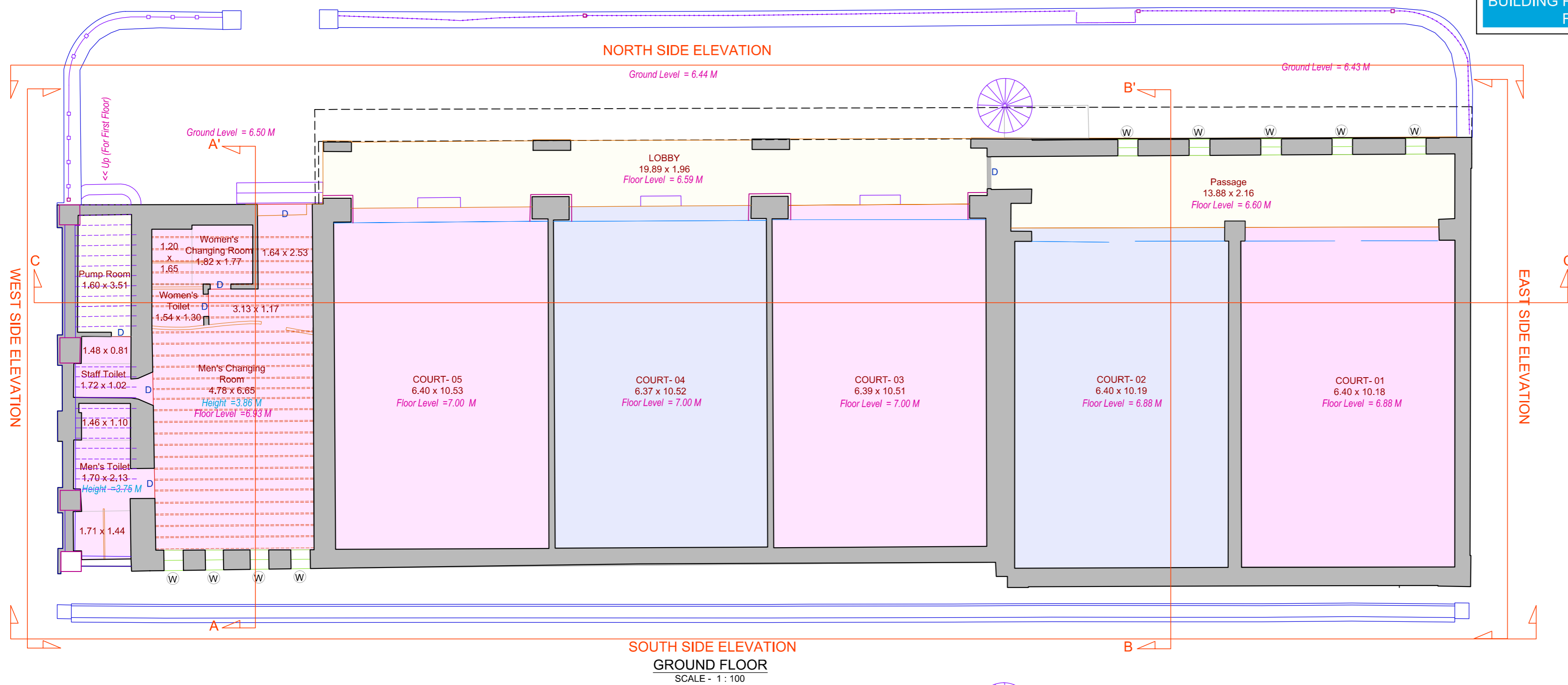
DRAWING-
 PLAN SHOWING TREE SURVEY OF C.S. No. 734, PLOT No.52, FORT- DIVISION , BOMBAY GYMKHANA LTD SQUASH COURT BUILDING, PURSHOTTAM THAKURDAS ROAD, FORT, MUMBAI – 400 001

SURVEYED BY-	Vaibhav	DRAWN BY-	Pooja
SURVEY DATE-	22 To 30 March.2024	CHECKED BY-	Mr. Arvind Baikar
DRAWING DATE-	05 April. 2024	DRAWING NO. -	

CAD FILE NAME- 240405_BOMBAY GYMKHANA LTD, FORT, MUMBAI, _R0

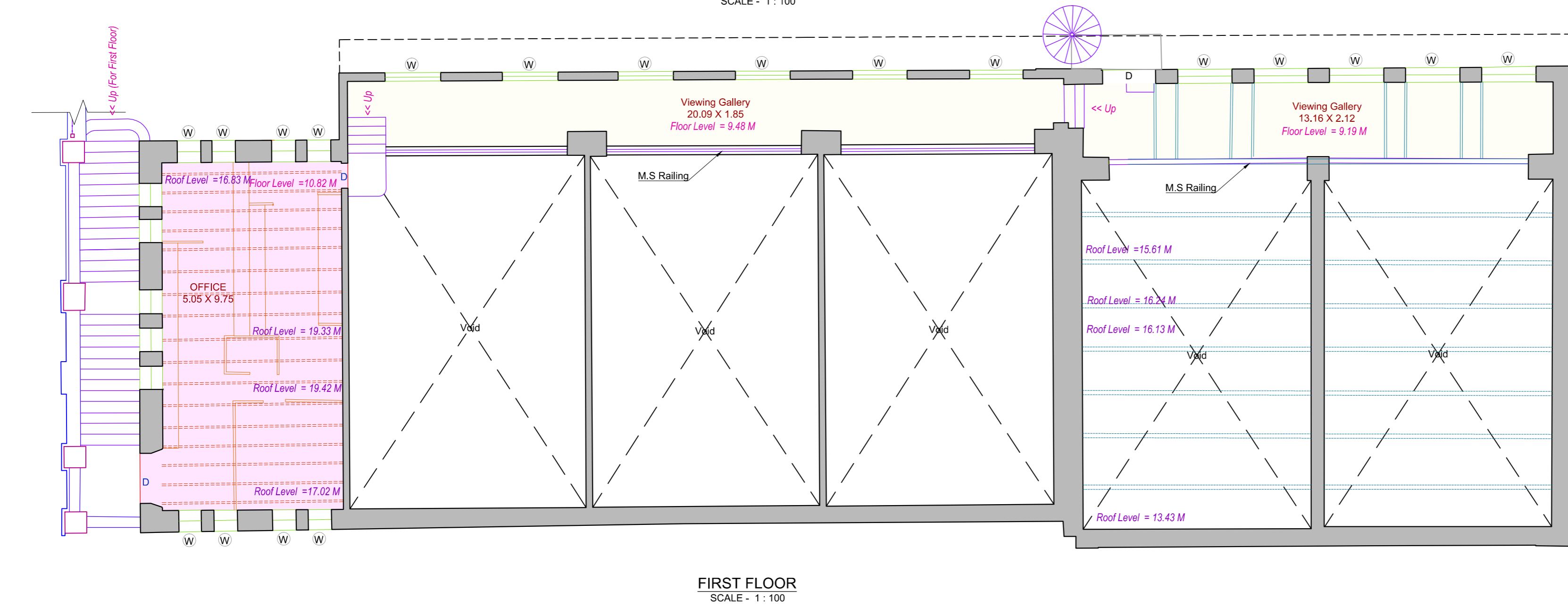

 SCALE - 1 : 500
 SHEET SIZE - A3

SURVEYED BY-

ZENMARC SURVEYS PVT. LTD.
 RANE ESTATE, NR. JAIN TEMPLE, KURAR, WALAD (EAST), MUMBAI- 400 097.
 TEL 9987071111 EMAIL: INFO@ZENMARC.IN. SURVEY@ZENMARC.IN

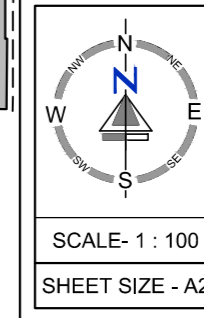


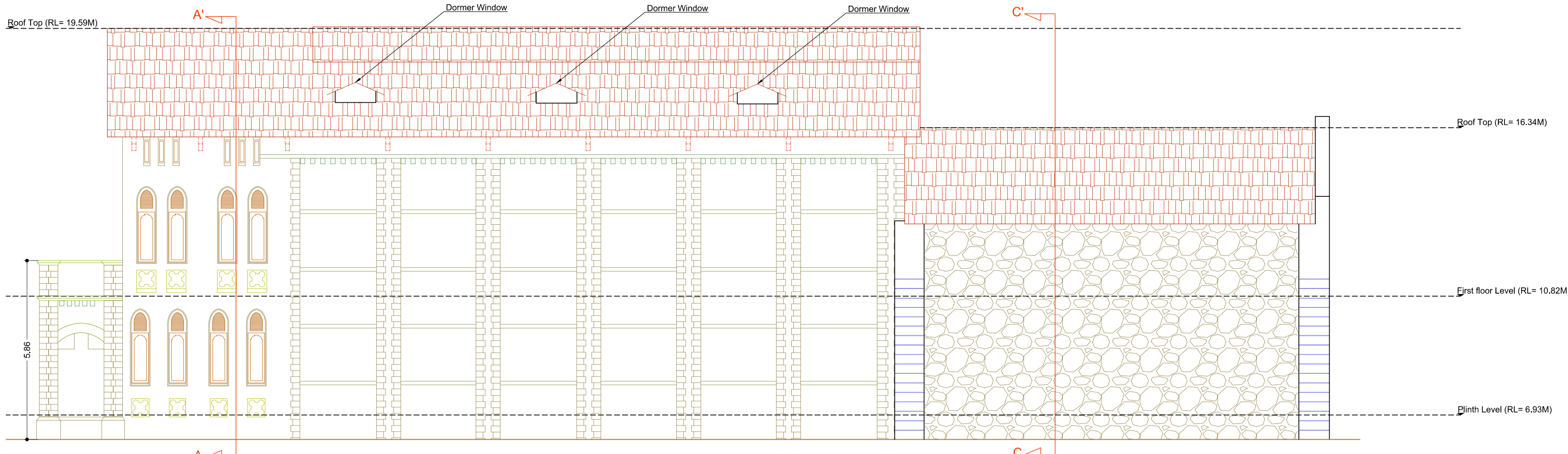
LEGEND

WALL	
DOOR	
WINDOW	
BALCONY	
AREA DIV. LINE	
Fence Line	
Staircase	
Compound Wall	
Column	
Wooden Beam	
Plywood	
Projection Line	

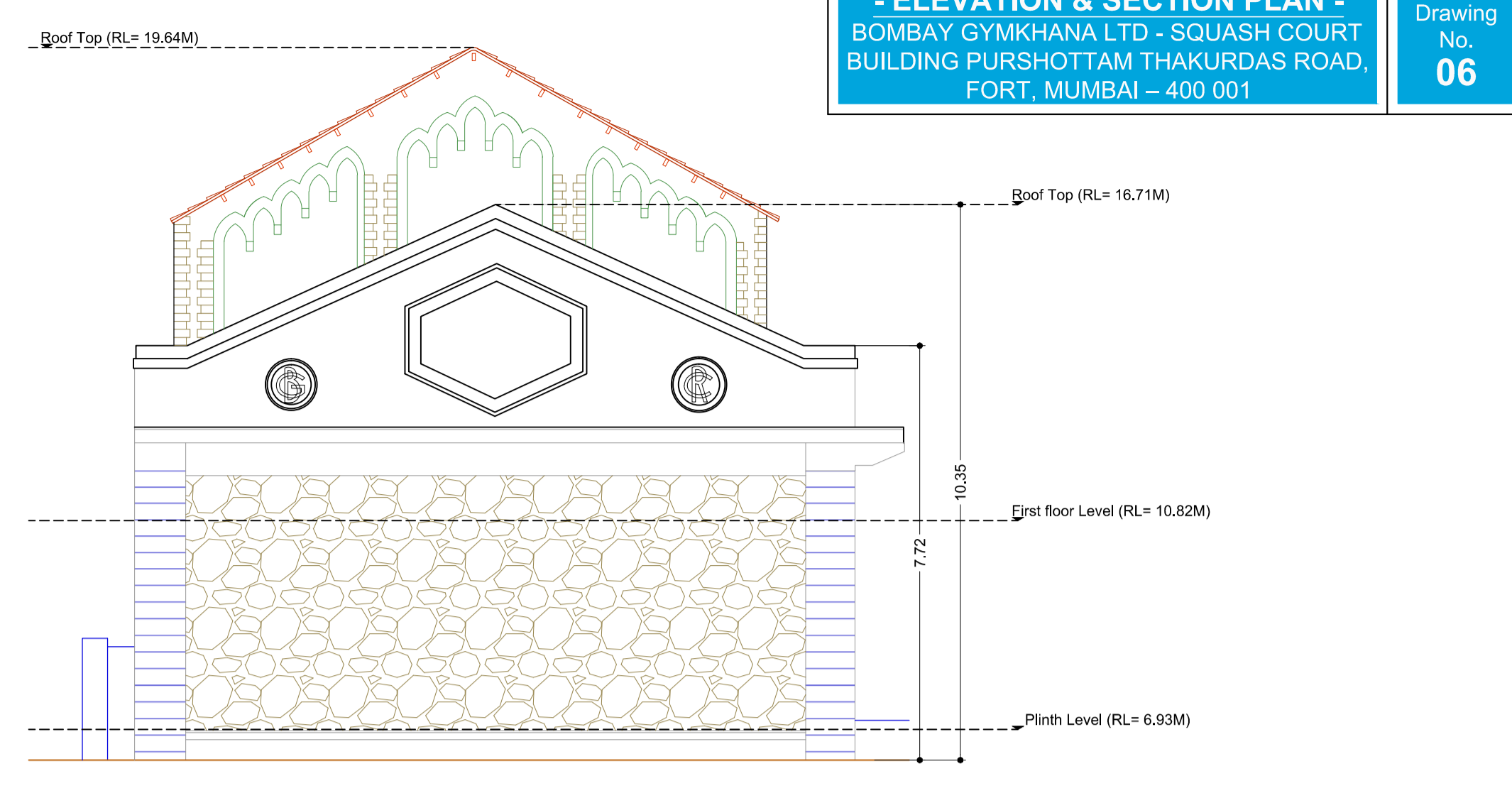


NAME OF CLIENT			
BOMBAY GYMKHANA LTD			
Bombay Gymkhana Ltd - Squash Court Building Purshottam Thakurdas Road, Fort, Mumbai - 400 001.			
NAME OF ARCHITECT			
ARCHSURVEYORS			
408, Prospect Chambers, 4th Floor, Dr. DN Road, Opposite Thomas & Cook Building, Fort, Mumbai - 400 001.			
DESCRIPTION OF PROPERTY			
PLAN SHOWING GROUND FLOOR OF			
SURVEYED BY-	Punit	DRAWN BY-	Pranali
SURVEY DATE-	25&26. April. 2024	CHECKED BY-	Mr. Arvind Baikar
DRAWING DATE-	07. May. 2024	DRAWING NO. -	
CAD FILE NAME-	240507_BOMBAY GYMKHANA LTD - SQUASH COURT BUILDING_R0		
DRAWING SCALE-			
NAME & ADDRESS OF SURVEYOR			
ZENMARC SURVEYS PVT. LTD.			
RANE ESTATE, Nr. JAIN TEMPLE, KURAR, MALAD (EAST), MUMBAI - 400 087.			
TEL: 9987071111 EMAIL: INFO@ZENMARC.IN, SURVEY@ZENMARC.IN			

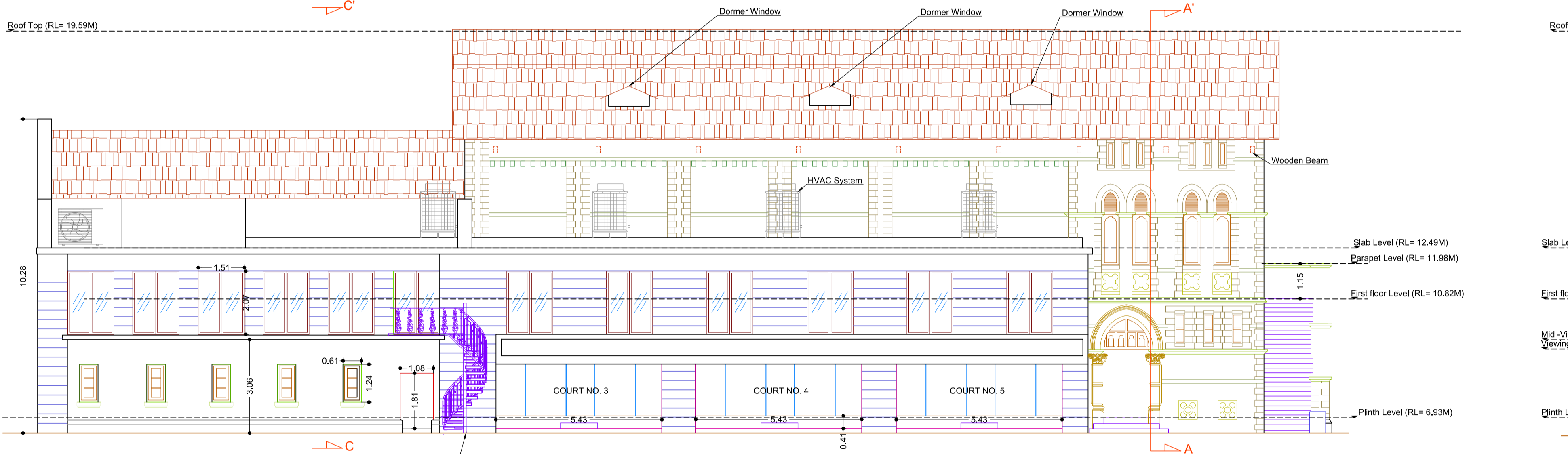




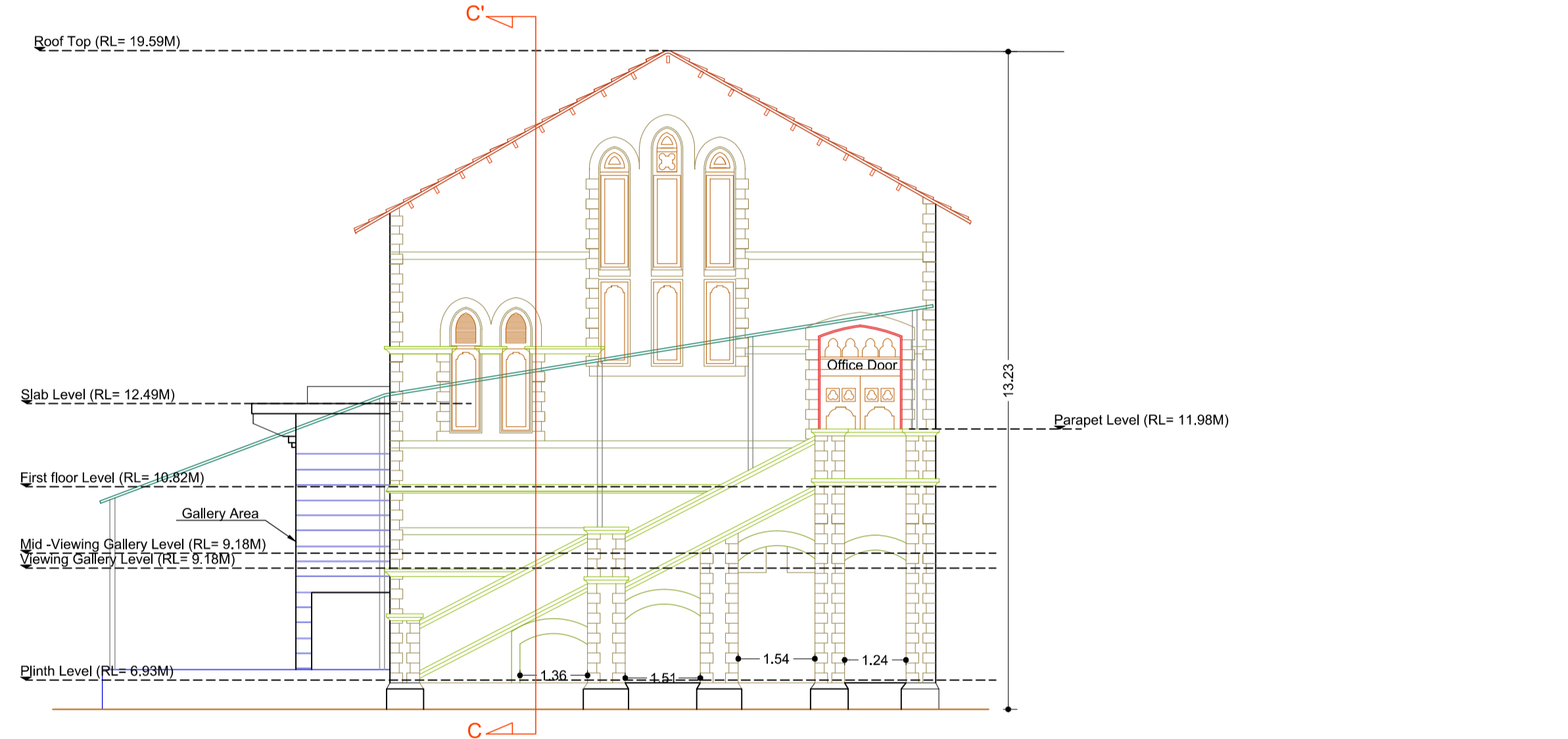
SOUTH SIDE ELEVATION



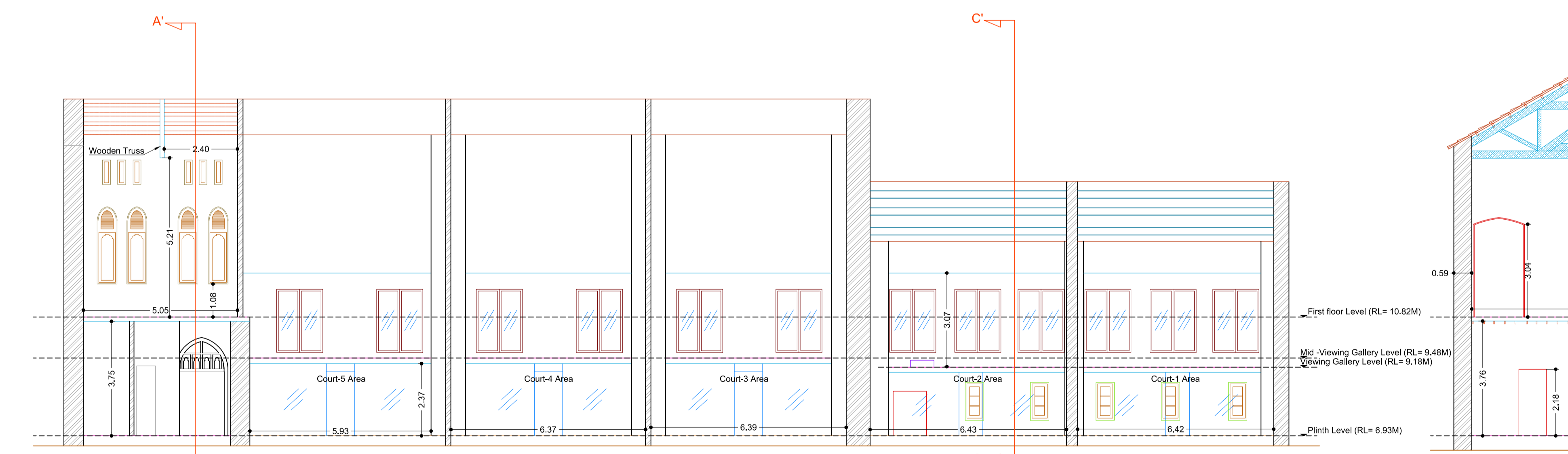
EAST SIDE ELEVATION



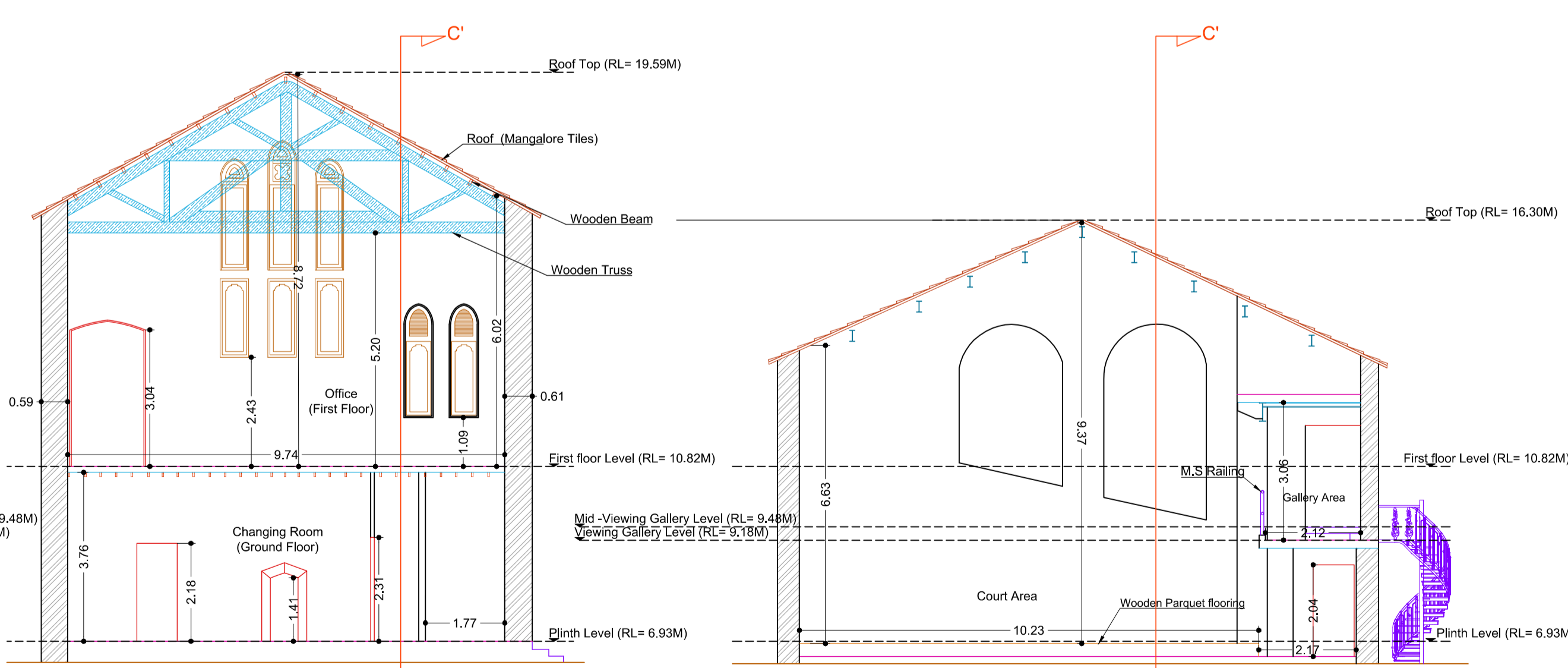
NORTH SIDE ELEVATION



WEST SIDE ELEVATION



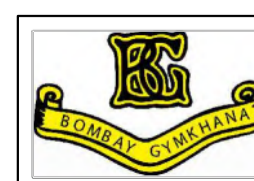
SECTION C-C'




SECTION A-A'

SECTION B-B'

LEGEND		LEGEND		LEGEND	
FLOOR LEVEL		WOODEN BEAM		EXISTING STRUCTURE	
SLAB LEVEL		STAIRCASE / STEP		ROOF	
DOOR		COLUMN		COMPOUND WALL	
FRAME		GLASS		PROJECTION LINE	
OTLA		GROUND LEVEL		STONE	


NAME OF CLIENT
BOMBAY GYMKHANA LTD
BOMBAY GYMKHANA LTD, Purshottam Thakurdas Road, Fort, Mumbai - 400 001

NAME OF ARCHITECT		SURVEYED BY - Punit		DRAWN BY - Punit	
ARCHSURVEYORS		CHECKED BY - Mr. Arvind Baikar			
<small>408, Prospect Chambers, 4th Floor Dr. DN Road Opposite Thomas & Cook Building Fort, Mumbai - 400 001.</small>		SURVEY DATE - 26 April 2024		DRAWING NO. -	
DESCRIPTION OF PROPERTY		SCALE - 1 : 100		SHEET SIZE - A1	
PLAN SHOWING ELEVATION & SECTION OF		CAD FILE NAME - 21 May 2024, BOMBAY GYMKHANA_Section & Elevation_R0		DRAWING SCALE -	

NAME & ADDRESS OF SURVEYOR			
 ZENMARC SURVEYS PVT. LTD. <small>RARE ESTATE, NR. JAIN TEMPLE, EBAR, HALAD (EABT), MUMBAI - 400 097. TEL. 9987071111 EMAIL: INFO@ZENMARC.IN, SURVEY@ZENMARC.IN</small>			



1875

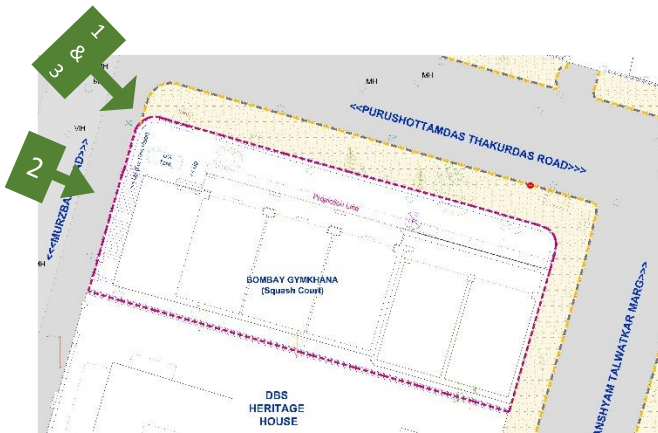
**Photo-Documentation of
Bombay Gymkhana Ltd.
'Squash Site Survey'**

Prepared by:-



ZENMARC SURVEYS PVT. LTD.

West Face



BLOCK PLAN

West Face



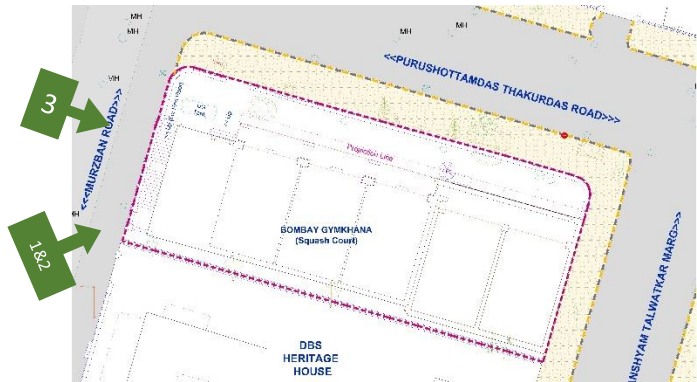
1



2

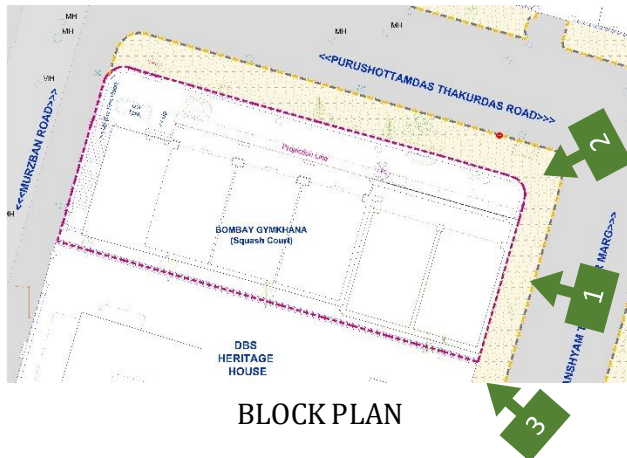


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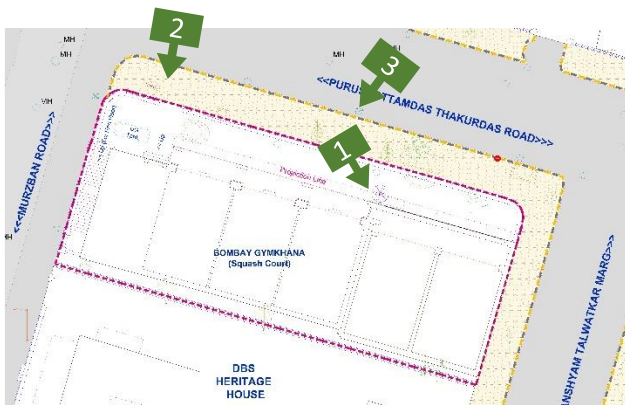


BLOCK PLAN

East Face



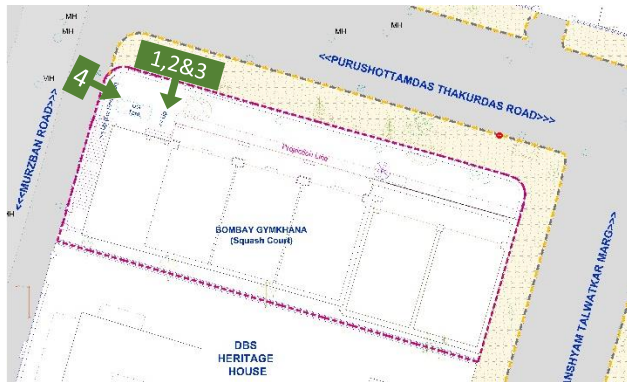
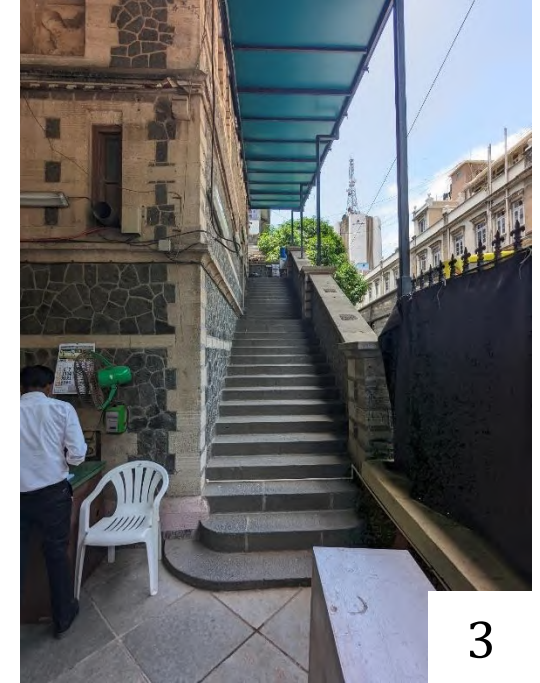
North Face



BLOCK PLAN



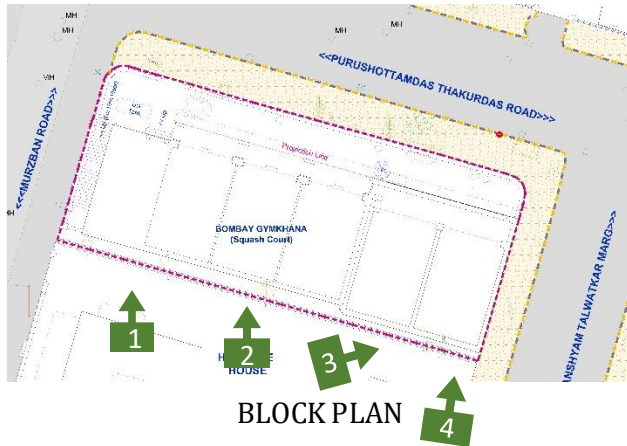
North Face (Entrance)



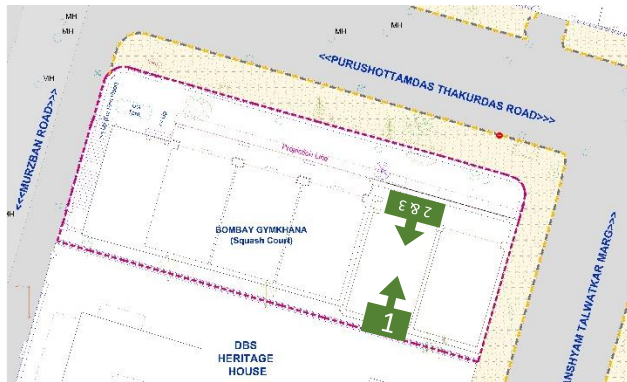
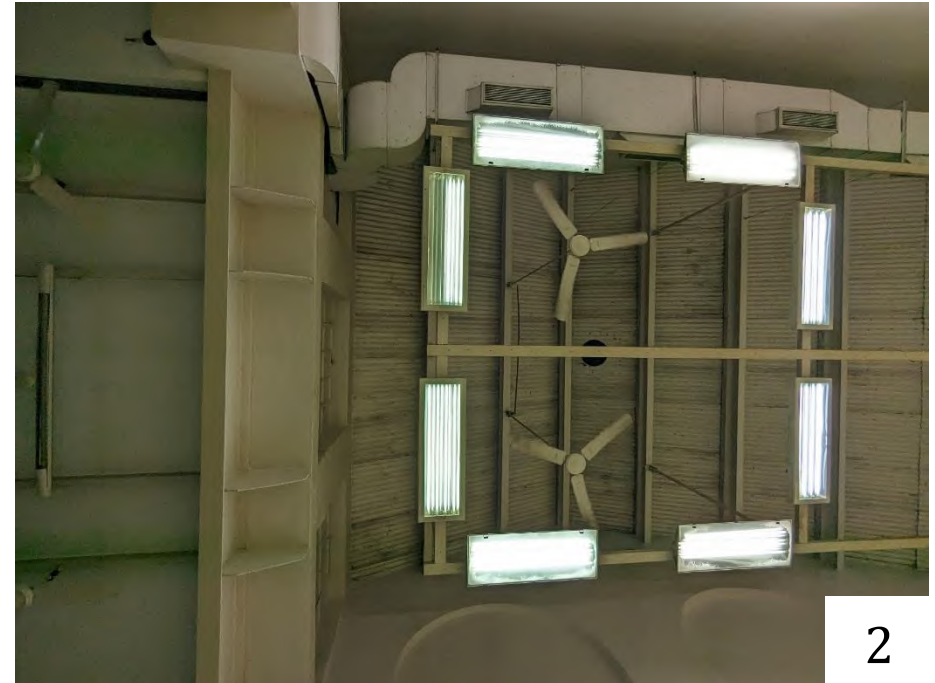
BLOCK PLAN



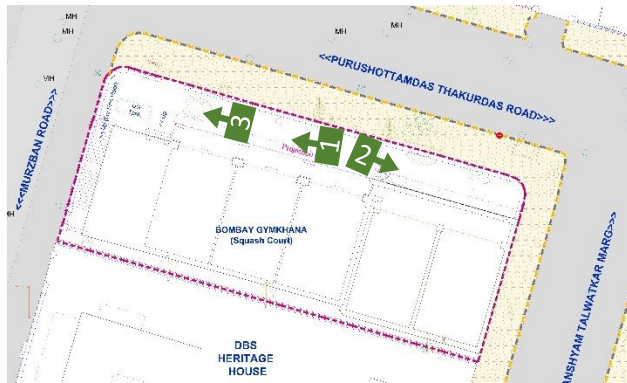
South face



Squash-Court Internal Roof



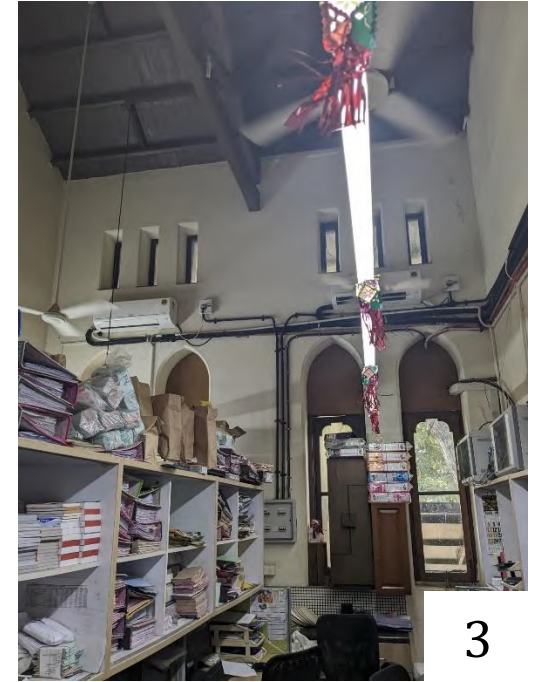
Squash-Court Viewing Gallery



BLOCK PLAN



Office Room (First Floor)





LOCATION PLAN : Google Image
SCALE - N.T.S.



LOCATION PLAN : D.P. Plan
SCALE - N.T.S.

NOTE
 * ALL DIMENSIONS ARE IN METER.
 * SPOT LEVELS ARE TAKEN w.r.t. BENCH MARK No. (003/A)
 (A' WARD OFFICE, OFF SHAHID BHAGATSINGH MARG AT BALLARD PIER, FORT AREA)
 = 30.295 m. (THD)
 * REDUCED LEVEL OF BENCH MARK = 5.835 m (AMSL)

NAME OF CLIENT
BOMBAY GYMKHANA LTD
 BOMBAY GYMKHANA LTD Squash Court Building, Purshottam Thakurdas Road, Fort, Mumbai - 400 001

NAME OF ARCHITECT
ARCHSURVEYORS
 408, Prospect Chambers, 4th Floor, Dr. DN Road, Opposite Thomas & Cook Building, Fort, Mumbai - 400 001

DESCRIPTION OF PROPERTY
 PLAN SHOWING SURROUNDING BUILDING HEIGHT SURVEY OF PLOT BEARING C.S. No. 734, PLOT No.52, FORT- DIVISION , BOMBAY GYMKHANA LTD SQUASH COURT BUILDING, PURSHOTTAM THAKURDAS ROAD, FORT, MUMBAI - 400 001

SURVEYED BY-	Vaibhav	DRAWN BY-	Pooja
SURVEY DATE-	22 To 30 March, 2024	CHECKED BY-	Mr. Arvind Baikar
DRAWING DATE-	21 May, 2024	DRAWING NO. -	ZM/23-24/0222
CAD FILE NAME-	240521_BOMBAY GYMKHANA_SURROUNDING BUILDING_R0		
DRAWING SCALE-			

NAME & ADDRESS OF SURVEYOR

ZENMARC SURVEYS PVT. LTD.
 RAME ESTATE, MR. JASH TEMPLER, KUNAR, MALAD (EAST), MUMBAI - 400 097,
 TEL 022 28425250 EMAIL INFO@ZENMARC.IN, SURVEY@ZENMARC.IN





LOCATION PLAN : Google Image
SCALE - N.T.S.



LOCATION PLAN : D.P. Plan
SCALE - N.T.S.

NOTE
 * ALL DIMENSIONS ARE IN METER.
 * SPOT LEVELS ARE TAKEN w.r.t. BENCH MARK No. (003/A)
 ('A' WARD OFFICE, OFF SHAHID BHAGATSINGH MARG AT BALLARD PIER, FORT AREA)
 = 30.295 m. (THD)
 * REDUCED LEVEL OF BENCH MARK = 5.835 m (AMSL)

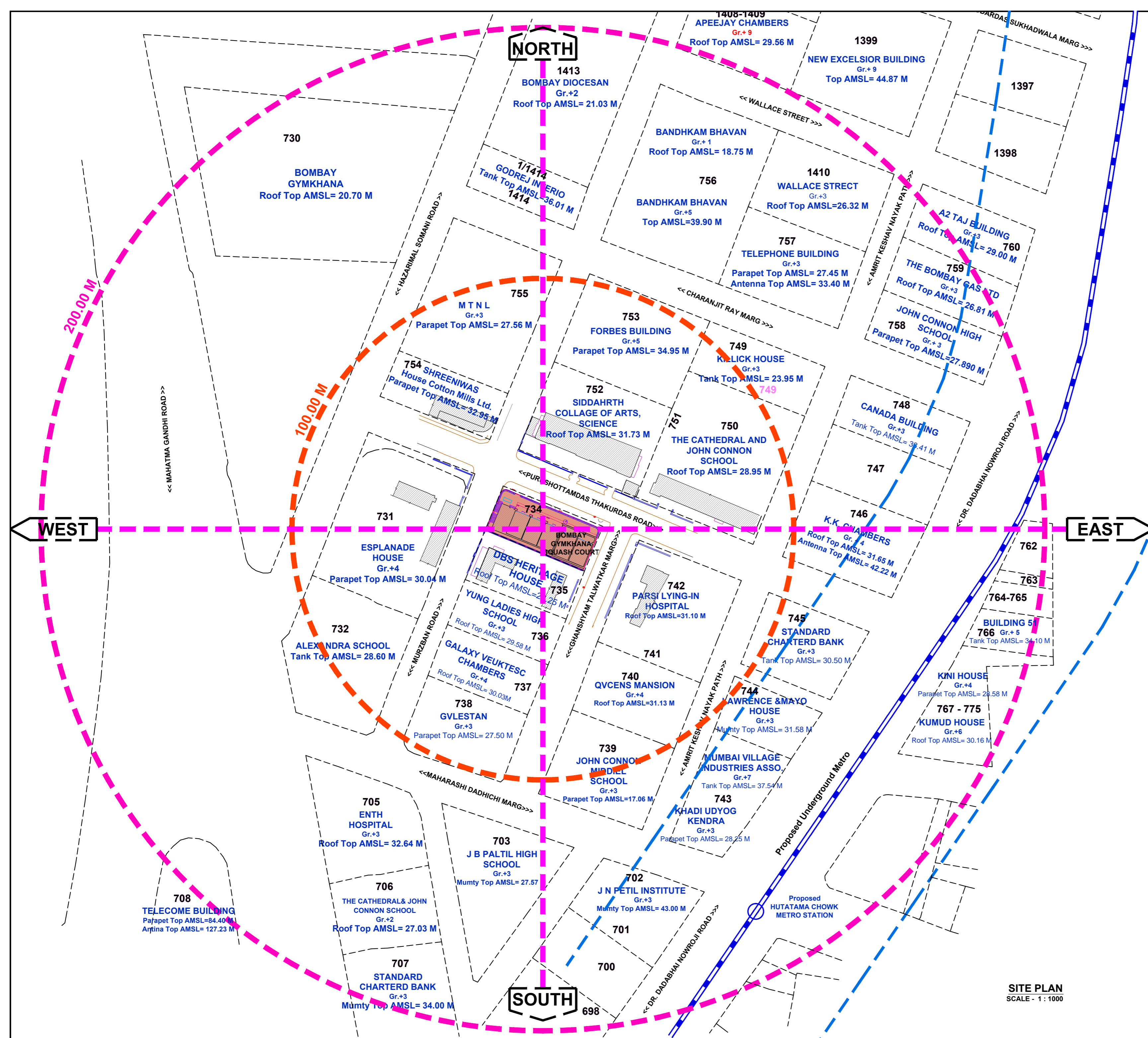
NAME OF CLIENT
BOMBAY GYMKHANA LTD
 BOMBAY GYMKHANA LTD Squash Court Building, Purshottam Thakurdas Road, Fort, Mumbai - 400 001

NAME OF ARCHITECT
ARCHSURVEYORS
 408, Prospect Chambers, 4th Floor, Dr. DN Road, Opposite Thomas & Cook Building, Fort, Mumbai - 400 001

DESCRIPTION OF PROPERTY
 PLAN SHOWING SURROUNDING BUILDING HEIGHT SURVEY OF PLOT BEARING C.S. No. 734, PLOT No.52, FORT- DIVISION, BOMBAY GYMKHANA LTD SQUASH COURT BUILDING, PURSHOTTAM THAKURDAS ROAD, FORT, MUMBAI - 400 001

SURVEYED BY-	Vaibhav	DRAWN BY-	Pooja
SURVEY DATE-	22 To 30 March, 2024	CHECKED BY-	Mr. Arvind Baikar
DRAWING DATE-	21 May, 2024	DRAWING NO. -	ZM/23-24/0222
CAD FILE NAME-	240521_BOMBAY GYMKHANA_SURROUNDING BUILDING_R0		
DRAWING SCALE-			

NAME & ADDRESS OF SURVEYOR
ZENMARC SURVEYS PVT. LTD.
 RANE ESTATE, Mr. JASH TENDLE, KUNAR, MALAD (EAST), MUMBAI - 400 097,
 TEL: 022 28425250 EMAIL: INFO@ZENMARC.IN, SURVEY@ZENMARC.IN



Documentation of 'Height of structures of surrounding properties within a Radius of 200 metres'



1875




Bombay Gymkhana Ltd.
'Squash Site Survey'

Surveyed by:-






ZENMARC SURVEYS PVT. LTD.




Structure/Building database falling within 200 meter limit in all directions of Bombay Gymkhana Squash Courts

I	II	III	V	VI	VII	VIII	IX	X	XI	XII	XIV	XV
Sr. No	Orientation Zone w.r.t. Monument	CTS No	Existing Identity	Occupant		Status	Linear Horizontal Distance from B G Squash Courts Center		G.L. w.r.t. AMSL	Structure Top AMSL	Photograph	Remark
				Structure Type	Floors		Minimum	Maximum				
AREA - Bombay Gymkhana Squash Courts to 200 M												
1	North- West	730	BOMBAY GYMKHANA	Structure	Ground	Existing	150.00	227.00	6.45	Roof Top AMSL= 20.70 M		
2	North- West	731	Esplanade House	Building	G+4	Existing	47.00	79.34	6.50	Parapet Top AMSL= 30.04 M		
3	North- West	754	Shreeniwas house & Cotton mills Ltd.	Building	Gr	Existing	56.46	91.30	6.30	Parapet Top AMSL= 32.95 M		

Structure/Building database falling within 200 meter limit in all directions of Bombay Gymkhana Squash Courts

I	II	III	V	VI	VII	VIII	IX	X	XI	XII	XIV	XV
Sr. No	Orientation Zone w.r.t. Monument	CTS No	Existing Identity	Occupant		Status	Linear Horizontal Distance from B G Squash Courts Center		G.L. w.r.t. AMSL	Structure Top AMSL	Photograph	Remark
				Structure Type	Floors		Minimum	Maximum				
AREA - Bombay Gymkhana Squash Courts to 200 M												
4	North- West	755	M T N L	Structure	Gr + 3	Existing	72.00	129.06	6.49	Parapet Top AMSL= 27.56 M		
5	North- West	1/1414	Godrej Interio	Structure	Gr+6	Existing	129.25	155.33	Tank Top AMSL=36.01 MROAD LEVEL AMSL = 6.45 M	—		
6	North - West	1413	BOMBAY DIOCESAN	Structure	Gr+2	Existing	153.40	227.00	Roof Top AMSL= 21.03 M	—		

Structure/Building database falling within 200 meter limit in all directions of Bombay Gymkhana Squash Courts

I	II	III	V	VI	VII	VIII	IX	X	XI	XII	XIV	XV
Sr. No	Orientation Zone w.r.t. Monument	CTS No	Existing Identity	Occupant		Status	Linear Horizontal Distance from B G Squash Courts Center		G.L. w.r.t. AMSL	Structure Top AMSL	Photograph	Remark
				Structure Type	Floors		Minimum	Maximum				
AREA - Bombay Gymkhana Squash Courts to 200 M												
7	South - West	732	ALEXANDRA SCHOOL	Structure	Gr	Existing	73.00	123.03	Tank Top AMSL= 28.60 M	-		
8	South - West	738	GULLISTAN	Structure	Gr+3	Existing	74.54	101.33	Parapet Top AMSL= 27.50 M	-		
9	South - West	737	GALAXY VEUKTESC CHAMBERS	Structure	GR+4	Existing	54.00	72.00	Roof Top AMSL= 29.58 M	-		




Structure/Building database falling within 200 meter limit in all directions of Bombay Gymkhana Squash Courts

I	II	III	V	VI	VII	VIII	IX	X	XI	XII	XIV	XV
Sr. No	Orientation Zone w.r.t. Monument	CTS No	Existing Identity	Occupant		Status	Linear Horizontal Distance from B G Squash Courts Center		G.L. w.r.t. AMSL	Structure Top AMSL	Photograph	Remark
				Structure Type	Floors		Minimum	Maximum				
AREA - Bombay Gymkhana Squash Courts to 200 M												
10	South - West	736	YOUNG LADIES HIGH SCHOOL	Building	G+3	Existing	41.00	54.02	Roof Top AMSL= 29.58 M	15.07		
11	South - West	735	DBS HERITAGE HOUSE	Structure	Gr+2	Existing	13.21	30.45	Roof Top AMSL=23.25 M	—		
12	South - West	705	ENT HOSPITAL	Building	G+3	Existing	122.00	165.41	Roof Top AMSL= 32.64 M	—		




Structure/Building database falling within 200 meter limit in all directions of Bombay Gymkhana Squash Courts

I	II	III	V	VI	VII	VIII	IX	X	XI	XII	XIV	XV
Sr. No	Orientation Zone w.r.t. Monument	CTS No	Existing Identity	Occupant		Status	Linear Horizontal Distance from B G Squash Courts Center		G.L. w.r.t. AMSL	Structure Top AMSL	Photograph	Remark
				Structure Type	Floors		Minimum	Maximum				
AREA - Bombay Gymkhana Squash Courts to 200 M												
13	South - West	706	THE CATHEDRAL & JOHN CONNON SCHOOL	Building	G+2	Existing	150.46	178.26	Roof Top AMSL= 27.03 M	-		
14	South - West	707	STANDARD CHARTERD BANK	Structure	Gr+3	Existing	179.00	215.58	Mumty Top AMSL= 34.00 M			
15	South - West	703	J B PETIT HIGH SCHOOL GIRLS	School	Gr+3	Existing	125.61	183.00	Mumty Top AMSL= 27.57 M	-		


Structure/Building database falling within 200 meter limit in all directions of Bombay Gymkhana Squash Courts

I	II	III	V	VI	VII	VIII	IX	X	XI	XII	XIV	XV
Sr. No	Orientation Zone w.r.t. Monument	CTS No	Existing Identity	Occupant		Status	Linear Horizontal Distance from B G Squash Courts Center		G.L. w.r.t. AMSL	Structure Top AMSL	Photograph	Remark
				Structure Type	Floors		Minimum	Maximum				
AREA - Bombay Gymkhana Squash Courts to 200 M												
16	South - East	702	J N PETIT INSTITUTE	Structure	Gr+3	Existing	146.04	4.34	Mumty Top AMSL= 43.00 M	-		
17	South - East	739	JOHN CONNON MIDDIEL SCHOOL	Structure	Gr+3	Existing	81.11	126.28	Parapet Top AMSL=17.06 M	-		
18	South - East	740	QUEEN MANSION	Structure	Gr+4	Existing	63.06	102.08	Roof Top AMSL=31.13 M	-		




Structure/Building database falling within 200 meter limit in all directions of Bombay Gymkhana Squash Courts

I	II	III	V	VI	VII	VIII	IX	X	XI	XII	XIV	XV
Sr. No	Orientation Zone w.r.t. Monument	CTS No	Existing Identity	Occupant		Status	Linear Horizontal Distance from B G Squash Courts Center		G.L. w.r.t. AMSL	Structure Top AMSL	Photograph	Remark
				Structure Type	Floors		Minimum	Maximum				
AREA - Bombay Gymkhana Squash Courts to 200 M												
19	South - East	742	PARSI LYING-IN HOSPITAL	Structure	Gr+2	Existing	53.40	81.28	Roof Top AMSL= 31.10 M	-		
20	South - East	743	MUMBAI VILLAGE INDUSTRIES ASSO.KHADI UDYOG KENDRA	Structure	Gr+7Gr+3	Existing	130.00	149.21	Bank Top AMSL= 37.54 M Parapet Top AMSL= 28.25 M	-		
21	South - East	744	LAWRENCE & MAYO HOUSE	Structure	Gr+3	Existing	109.37	135.07	Mumty Top AMSL= 31.58 M	-		

Structure/Building database falling within 200 meter limit in all directions of Bombay Gymkhana Squash Courts

I	II	III	V	VI	VII	VIII	IX	X	XI	XII	XIV	XV
Sr. No	Orientation Zone w.r.t. Monument	CTS No	Existing Identity	Occupant		Status	Linear Horizontal Distance from B G Squash Courts Center		G.L. w.r.t. AMSL	Structure Top AMSL	Photograph	Remark
				Structure Type	Floors		Minimum	Maximum				
AREA - Bombay Gymkhana Squash Courts to 200 M												
22	South - East	767-775	KINI HOUSE KUMUD HOUSE	Structure	Gr+4,Gr-6	Existing	179.11	203.00	Gr.+4 Parapet Top AMSL= 28.58 M Roof Top AMSL= 30.16 M	-		
23	South - East	766	BUILDING 51	Structure	Gr+5	Existing	183.49	209.48	Tank Top AMSL= 34.10 M			
24	North- East	746	K.K. CHAMBERS	Structure	Gr+4	Existing	116.56	152.18	Roof Top AMSL= 31.65 M Antenna Top AMSL= 42.22 M			




Structure/Building database falling within 200 meter limit in all directions of Bombay Gymkhana Squash Courts

I	II	III	V	VI	VII	VIII	IX	X	XI	XII	XIV	XV
Sr. No	Orientation Zone w.r.t. Monument	CTS No	Existing Identity	Occupant		Status	Linear Horizontal Distance from B G Squash Courts Center		G.L. w.r.t. AMSL	Structure Top AMSL	Photograph	Remark
				Structure Type	Floors		Minimum	Maximum				
AREA - Bombay Gymkhana Squash Courts to 200 M												
25	North- East	748	CANADA BUILDING	Structure	Gr+3	Existing	133.00	176.00	Tank Top AMSL= 33.41 M			
26	North- East	758	JOHN CONNON HIGH SCHOOL	Structure	Gr+3	Existing	161.00	175.65	Tank Top AMSL= 33.41 M			
27	North- East	759	THE BOMBAY GAS LTD	Structure	Gr+3	Existing	188.40	213.40	Roof Top AMSL= 26.81 M			




Structure/Building database falling within 200 meter limit in all directions of Bombay Gymkhana Squash Courts

I	II	III	V	VI	VII	VIII	IX	X	XI	XII	XIV	XV
Sr. No	Orientation Zone w.r.t. Monument	CTS No	Existing Identity	Occupant		Status	Linear Horizontal Distance from B G Squash Courts Center		G.L. w.r.t. AMSL	Structure Top AMSL	Photograph	Remark
				Structure Type	Floors		Minimum	Maximum				
AREA - Bombay Gymkhana Squash Courts to 200 M												
28	North- East	760	B2 TAJ BUILDING	Structure	Gr+3	Existing	194.00	229.27	Roof Top AMSL= 29.00 M			
29	North- East	750	THE CATHEDRAL AND JOHN CONNON SCHOOL	Structure	Gr	Existing	51.39	114.00	Roof Top AMSL= 28.95 M			
30	North- East	757	TELEPHONE BUILDING	Structure	Gr+3	Existing	131.27	169.32	Parapet Top AMSL= 27.45 M Antenna Top AMSL= 33.40 M			


Structure/Building database falling within 200 meter limit in all directions of Bombay Gymkhana Squash Courts

I	II	III	V	VI	VII	VIII	IX	X	XI	XII	XIV	XV
Sr. No	Orientation Zone w.r.t. Monument	CTS No	Existing Identity	Occupant		Status	Linear Horizontal Distance from B G Squash Courts Center		G.L. w.r.t. AMSL	Structure Top AMSL	Photograph	Remark
				Structure Type	Floors		Minimum	Maximum				
AREA - Bombay Gymkhana Squash Courts to 200 M												
31	North- East	1410	WALLACE STRECT	Structure	Gr+3	Existing	163.27	199.00	Roof Top AMSL=26.32 M			
32	North- East	1399	NEW EXCELSIOR BUILDING	Structure	Gr+9	Existing	211.32	259.34	Top AMSL=44.87 M			
33	North- East	1408-1409	APEEJAY CHAMBERS	Structure	Gr+9	Existing	205.00	229.16	Top AMSL=29.56 M			

Structure/Building database falling within 200 meter limit in all directions of Bombay Gymkhana Squash Courts

I	II	III	V	VI	VII	VIII	IX	X	XI	XII	XIV	XV
Sr. No	Orientation Zone w.r.t. Monument	CTS No	Existing Identity	Occupant		Status	Linear Horizontal Distance from B G Squash Courts Center		G.L. w.r.t. AMSL	Structure Top AMSL	Photograph	Remark
				Structure Type	Floors		Minimum	Maximum				
AREA - Bombay Gymkhana Squash Courts to 200 M												
34	North- East	756	BANDHKAM BHAVAN BANDHKAM BHAVAN	Structure	Gr-1Gr+5	Existing	148.40	184.32	Roof Top AMSL= 18.75 M Top AMSL=39.90 M			
35	North- East	753	FORBES BUILDING	Structure	Gr+	Existing	76.57	106.09	Gr.+5 Parapet Top AMSL= 34.95 M			
36	North - East	752	SIDDHARTH COLLEGE OF ARTS, SCIENCE	Structure	Gr+	Existing	32.00	71.00	Roof Top AMSL= 31.73 M			

Structure/Building database falling within 200 meter limit in all directions of Bombay Gymkhana Squash Courts

I	II	III	V	VI	VII	VIII	IX	X	XI	XII	XIV	XV
Sr. No	Orientation Zone w.r.t. Monument	CTS No	Existing Identity	Occupant		Status	Linear Horizontal Distance from B G Squash Courts Center		G.L. w.r.t. AMSL	Structure Top AMSL	Photograph	Remark
				Structure Type	Floors		Minimum	Maximum				
AREA - Bombay Gymkhana Squash Courts to 200 M												
37	North - East	749	Killick House	Structure	Gr+3	Existing	91.56	130.00	ROAD LEVEL AMSL = 7.16 M TANK TOP AMSL = 23.95 M			

ZENMARC SURVEYS PVT. LTD.

CIN : U74999MH2017PTC294516

Rane Estate, Nr. Jain Temple, Kurar, Malad (East), Mumbai- 400 097.
Tel: 022 28425250 / +91 8108071111 Email: accounts@zenithsurvey.in



BENCHMARK No.	003/A	Name Of Client :- BOMBAY GYMKHANA LTD. Squash Court Building Purshottam Thakurdas Road, Fort, Mumbai – 400 001
HEIGHT (THD)	30.295	
HEIGHT (AMSL)	5.835	
WARD	A	NAME OF ARCHITECT:- ARCHSURVEYORS 408, Prospect Chambers, 4th Floor, Dr. DN Road, Opposite Thomas & Cook Building, Fort, Mumbai - 400 001
LOCATION	A' WARD OFFICE OFF SHAHID BHAGATSINGH MARG AT BALLARD PIER FORT AREA	DETAIL OF SITE LOCATION C.S. No. 734, PLOT No.52, FORT- DIVISION , BOMBAY GYMKHANA LTD SQUASH COURT BUILDING, PURSHOTTAM THAKURDAS ROAD, FORT, MUMBAI – 400 001

LEVEL FLY SURVEY FROM B.M. No. 003/A 'A' WARD OFFICE OFF SHAHID BHAGATSINGH MARG AT BALLARD PIER FORT AREA TO C.S. No. 734, PLOT No.52, FORT- DIVISION , BOMBAY GYMKHANA LTD SQUASH COURT BUILDING, PURSHOTTAM THAKURDAS ROAD, FORT, MUMBAI – 400 001

LEVEL BOOK						Date : 28 MARCH 2024
Sr.No.	B.S.	I.S.	F.S.	H.I.	R.L.	REMARK
					THD	
1	1.030			31.325	30.295	'A' WARD OFFICE OFF SHAHID BHAGATSINGH MARG AT BALLARD PIER FORT AREA
2	1.710		1.075	31.960	30.250	CP1 Near LP No. BGR/5 on Perin Nariman road
3	1.700		0.900	32.760	31.060	CP2 Near LP No. GBS/11 on Rustom Sidhwa Marg
4	1.475		2.035	32.200	30.725	CP3 Near LP No. GBS/2 & Residency Hotel on Rustom Sidhwa Marg
5	1.335		1.750	31.785	30.450	CP4 Near Standard Bank Building on Dr Dadabhai Noorji Road
6	1.285		1.060	32.010	30.725	CP5 STN 5
7		1.592			30.418	R1 Footpath Top
8		1.730			30.280	R2 Road Edge
9		1.595			30.415	R3 Road Center
10		1.753			30.257	R4 Road edge
11		1.584			30.426	R5 Footpath Top
12		1.553			30.457	R6 Footpath Top
13		1.724			30.286	R7 Road edge
14		1.601			30.409	R8 Road Center
15		1.688			30.322	R9 Road edge
16		1.544			30.466	R10 Footpath Top
17		1.493			30.517	R11 Footpath Top
18		1.647			30.363	R12 Road edge
19		1.544			30.466	R13 Road Center
20		1.706			30.304	R14 Road edge
21		1.488			30.522	R15 Footpath Top
22		1.539			30.471	R16 Footpath Top
23		1.680			30.330	R17 Road edge
24		1.535			30.475	R18 Road Center
25		1.730			30.280	R19 Road edge
26		1.564			30.446	R20 Footpath Top
27		1.595			30.415	R21 Footpath Top
28		1.700			30.310	R22 Road Edge
29		1.539			30.471	R23 Road Center
30		1.694			30.316	R24 Road edge
31		1.614			30.396	R25 Footpath Top
32		1.596			30.414	R26 Footpath Top
33		1.707			30.303	R27 Road edge
34		1.569			30.441	R28 Road Center
35		1.670			30.340	R29 Road edge

LEVEL BOOK					Date : 28 MARCH 2024	
Sr.No.	B.S.	I.S.	F.S.	H.I.	R.L.	REMARK
					THD	
36		1.559			30.451	R30 Footpath Top
37		1.533			30.477	MH-1 Manhole Top
38		1.504			30.506	MH-2 Manhole Top
39		1.548			30.462	MH-3 Manhole Top
40		1.600			30.410	MH-4 Manhole Top
41		1.578			30.432	MH-5 Manhole Top
42		1.531			30.479	MH-6 Manhole Top
43		1.616			30.394	MH-7 Manhole Top
44		1.692			30.318	MH-8 Manhole Top
45		1.579			30.431	MH-9 Manhole Top
46		1.509			30.501	MH-10 Manhole Top
47		1.595			30.415	MH-11 Manhole Top
48		1.403			30.607	MH-12 Manhole Top
49		1.550			30.460	P1 Plot Level
50	1.625		1.540	32.095	30.470	CP6 STN 1
51		1.763			30.332	R31 Road Edge
52		1.489			30.606	R32 Road Center
53		1.706			30.389	R33 Road edge
54		1.758			30.337	R34 Road Edge
55		1.498			30.597	R35 Road Center
56		1.658			30.437	P2 Plot Level
57		1.502			30.593	MH-13 Manhole Top
58		1.477			30.618	MH-14 Manhole Top
59		1.476			30.619	MH-15 Manhole Top
60		1.511			30.584	MH-16 Manhole Top
61		1.557			30.538	MH-17 Manhole Top
62		1.567			30.528	MH-18 Manhole Top
63	1.610		1.650	32.055	30.445	CP7 STN 4
64		1.495			30.560	P3 Plot Level
65		1.525			30.530	P4 Plot Level

RETURN LEVEL FLY SURVEY OF						
C.S. No. 734, PLOT No.52, FORT- DIVISION , BOMBAY GYMKHANA LTD SQUASH COURT BUILDING, PURSHOTTAM THAKURDAS ROAD, FORT, MUMBAI – 400 001 To B.M. No. 003/A'A' WARD OFFICE OFF SHAHID BHAGATSINGH MARG AT BALLARD PIER FORT AREA						
LEVEL BOOK					Date : 28 MARCH 2024	
Sr.No.	B.S.	I.S.	F.S.	H.I.	R.L.	REMARK
					THD	
1	1.630			32.075	30.445	CP7 STN 4
2	1.555		1.605	32.025	30.470	CP6 STN 1
3	1.170		1.35	31.895	30.725	CP5 STN 5
4	1.700		1.445	32.150	30.450	CP4 Near Standard Bank Building on Dr Dadabhai Noorji Road
5	2.010		1.420	32.740	30.730	CP3 Near LP No. GBS/2 & Residency Hotel on Rustom Sidhwa Marg
6	1.000		1.675	32.065	31.065	CP2 Near LP No. GBS/11 on Rustom Sidhwa Marg
7	1.130		1.810	31.385	30.255	CP1 Near LP No. BGR/5 on Perin Nariman road
8			1.085		30.300	'A' WARD OFFICE OFF SHAHID BHAGATSINGH MARG AT BALLARD PIER FORT AREA

Certificate	
I Have Carried Out Level Survey Of The Said Plot Our Staff To Measure THD Of Above Refereed Proerty.	
SIGNATURE	

ZENMARC SURVEYS PVT. LTD.

CIN : U74999 MH2017 PTC294516

Rane Estate, Nr. Jain Temple, Kurar, Malad (East), Mumbai- 400097.

Tel. 022 28425250/ +91 8108071111 Email: info@zenmarc.in



Site Elevation and Site Coordinates Certificate

Dated: 05/04/2024

Name Of Licenced Surveyor:- Mr. Arvind P. Baikar

Address :- Zenmarc Survey Pvt Ltd.

15, Rane Estate, Nr. Jain Temple, Kurar, Malad (East), Mumbai-400097.

Email id:-survey@zenmarc.in

Mobile No. :- 8108071111

License No.:-840013760

License Validity :- 31st March.2025

Scope of License:- Surveyor's Licence(L.S.)

License issuing authority:- MCGM

I hereby certify that I have carried out the site survey as per the following details and the results are shown in (A) and (B) below:

Site/ Plot No :- C.S. No. 734, Plot No.52, Fort Division, Bombay Gymkhana LTD
(as per the local bodies map) Squash Court Building, Purshottam Thakurdas Road, Fort,
Mumbai – 400 001

Site address :- C.S. No. 734, Plot No.52, Fort Division, Bombay Gymkhana LTD
Squash Court Building, Purshottam Thakurdas Road, Fort,
Mumbai – 400 001

Owner/Lessee of the Plot/ Site :- **BOMBAY GYMKHANA LTD**

(A) Site Co-ordinates :-

CornerNo.	Latitude(DDMMSS.s)	Longitude (DDMMSS.s)	SiteElevation (AMSL)in meters
A	18°56' 09.20"N	72°49' 56.09"E	6.425
B	18°56' 08.65"N	72°49' 55.86"E	6.357
C	18°56' 09.17"N	72°49' 54.52"E	6.235
D	18°56' 09.71"N	72°49' 54.75"E	6.475

B) Highest Site Elevation of the Plot: 6.475 M. (AMSL)

C) Further it is certified that:

1. I/we am/are trained and equipped to issue this certificate for site elevation and site co ordinates.
2. the site elevation and site coordinates data are correct to best of my knowledge and belief and are Within permissible limits of accuracy of 50cm in vertical and 03meters in lateral.
3. I have used the following equipment for survey
 - (a) DGPS conforming to accuracy levels defined in 2 above along with validity of calibration certificate.
 - (b) Total station conforming to accuracy levels defined in 2 above along with validity of calibration certificate.

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CIN : U74999 MH2017 PTC294516

Rane Estate,Nr.JainTemple,Kurar, Malad(East),Mumbai- 400097.

Tel. 022 28425250/ +91 8108071111 Email: info@zenmarc.in



(D) Undertaking

1. I Indemnify Airports Authority of India and the concerned airport operator against all damages arising out of errors in data furnished above by me in addition to the owner's responsibility in this regard.I may further be blacklisted by AAI in case of wrong data.
2. Within a period of three months from the data of filing of NOC application, I shall submit the following documents to the Airport Director of the concerned airport, if so required by AAI.
 - (a) License certificate of surveyor.
 - (b) Calibration certificate of survey equipment.
 - (c) Photograph of the surveyor at site and showing the neighboring land area.
 - (d) Site plotted on Google Earth map.

BOMBAY GYMKHANA LTD

(Name and Signature of the authorized
Surveyor Licensee)

Thank you

Disclaimer : The content of this presentation is only tentative, indicative, proposed and envisaged in respect of the kind of development that is proposed and as such should not be relied upon as a substitute for the final structure and/or approved plans which must be sought from M/s. Archsurveyors prior to acting in reliance upon any representation deemed to have been made through or adoption of any information from this presentation. In the interest of continuing improvement, M/s. Archsurveyors and their associates and representatives, reserve all rights to change/ revise plans, areas, specifications and/or features without any obligation or prior notice. The plans, areas, and information given/made in this presentation have been made and presented by M/s. Archsurveyors and their associates and representatives using their best judgment, referring current policies of MCGM and State Government in utmost good faith and as far as possible must be used only for guidance. Neither do the presentation and/or its contents constitute any offer or contract and nor does it seek to solicit any proposal to buy or sell. Notwithstanding, M/s. Archsurveyors and their associates and representatives, disclaim to the extent permitted by law, any liability, in respect of any claim, which may arise from any errors or omission or from providing such plans, areas, and information through this presentation, or from any decisions/judgments based on or from interpretation of such representation.